

MINOR SITE PLAN

13302 LONG BEACH BOULEVARD

LOT 2 ~ BLOCK 6.46

SITUATED IN

LONG BEACH TOWNSHIP, OCEAN COUNTY, N.J.

PREPARED FOR

TIP HOLDINGS, LLC
13302 LONG BEACH BLVD.
LONG BEACH TWP., N.J.

PREPARED BY

FWH ASSOCIATES, P.A.

CIVIL ENGINEERS LAND SURVEYORS
 LANDSCAPE ARCHITECTS SITE PLANNERS
 1856 ROUTE 9 TOMS RIVER NEW JERSEY 08755 (732)797-3100

SHEET INDEX		
Sheet	Title	Date
1	TITLE SHEET	04/07/26
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APPROVED AS A PRELIMINARY AND FINAL MINOR SITE PLAN FOR
 BLOCK 6.46, LOT 2 BY THE LONG BEACH TWP. PLANNING BOARD
 RESOLUTION NUMBER _____ DATED _____

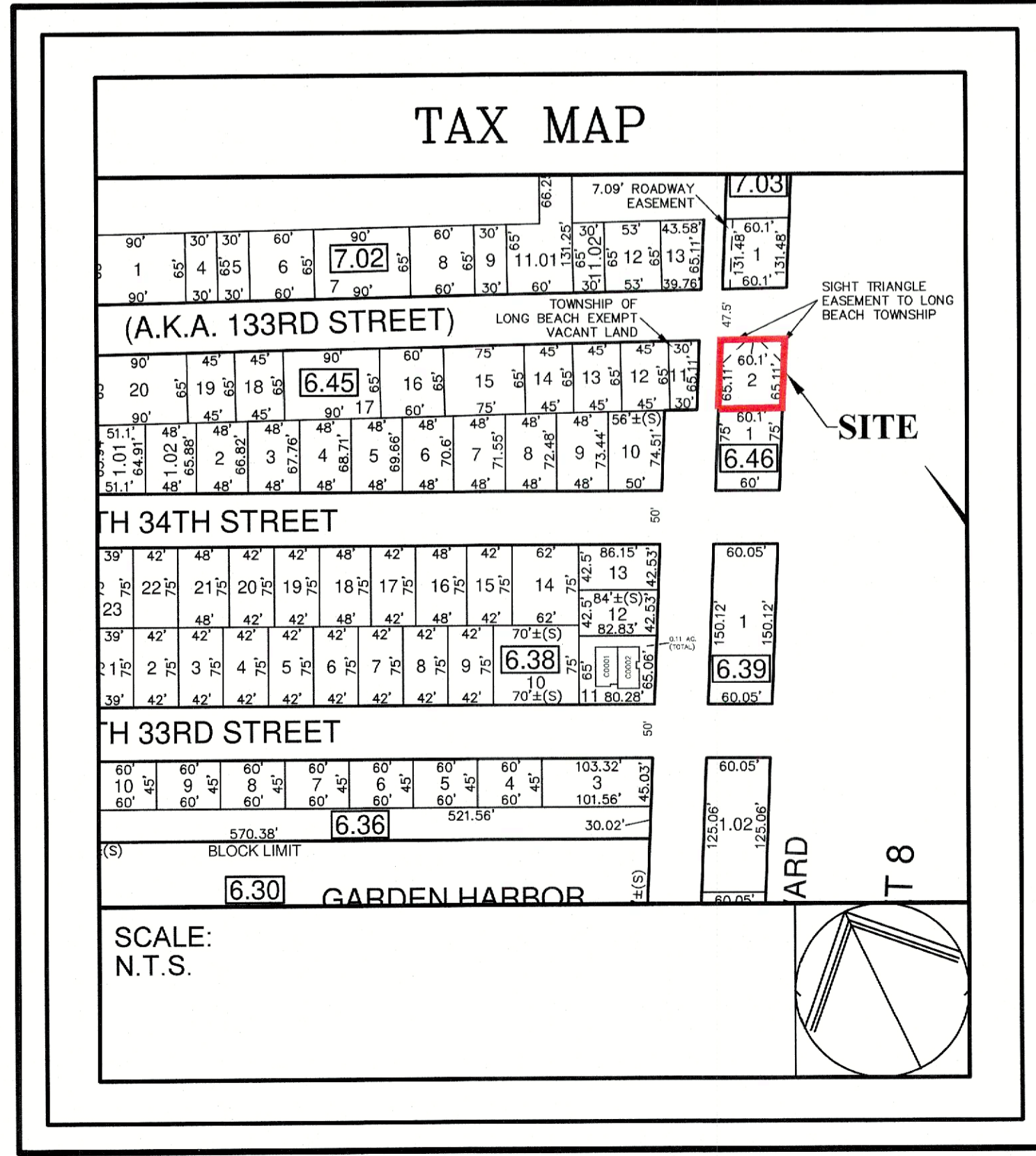
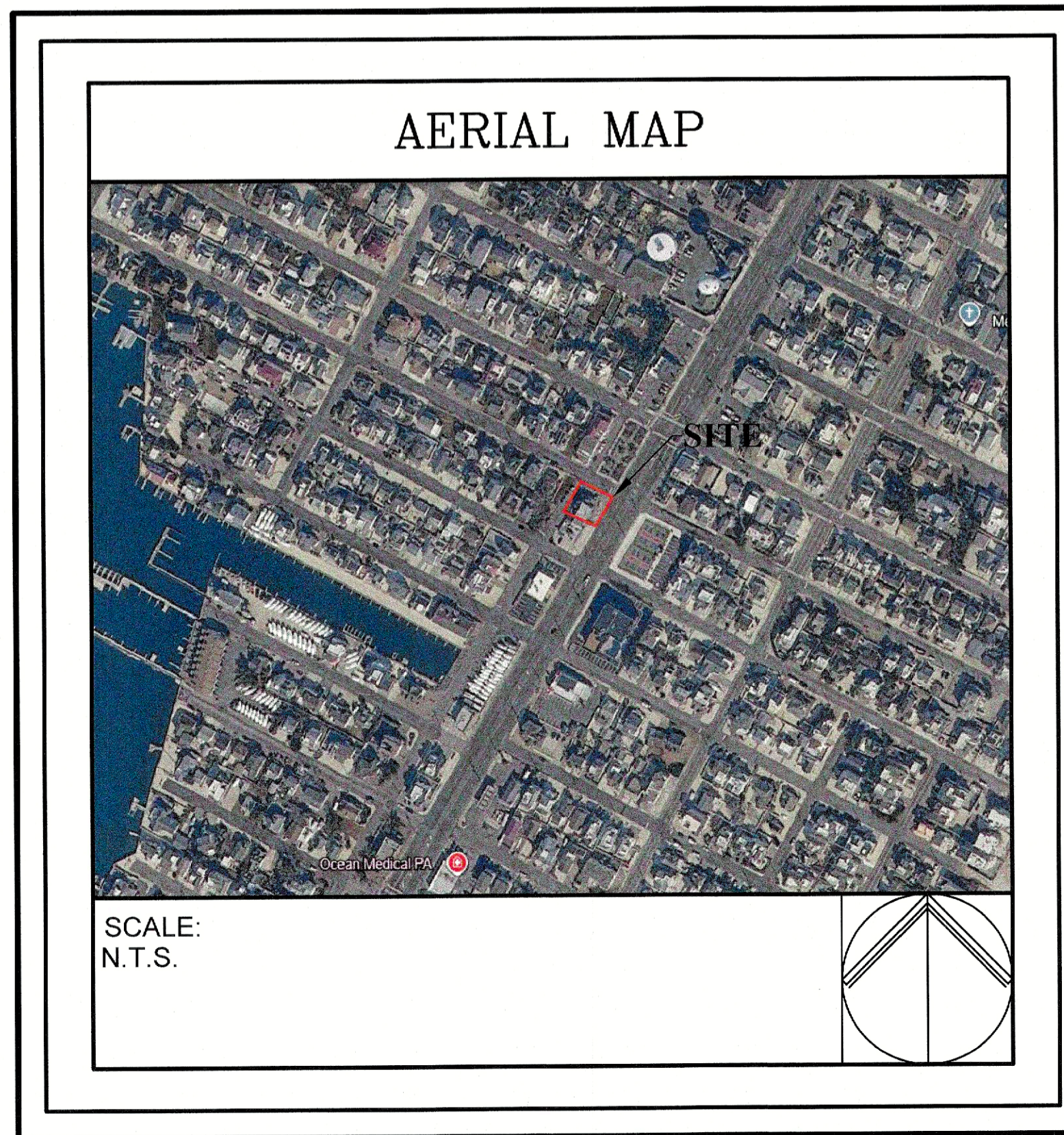
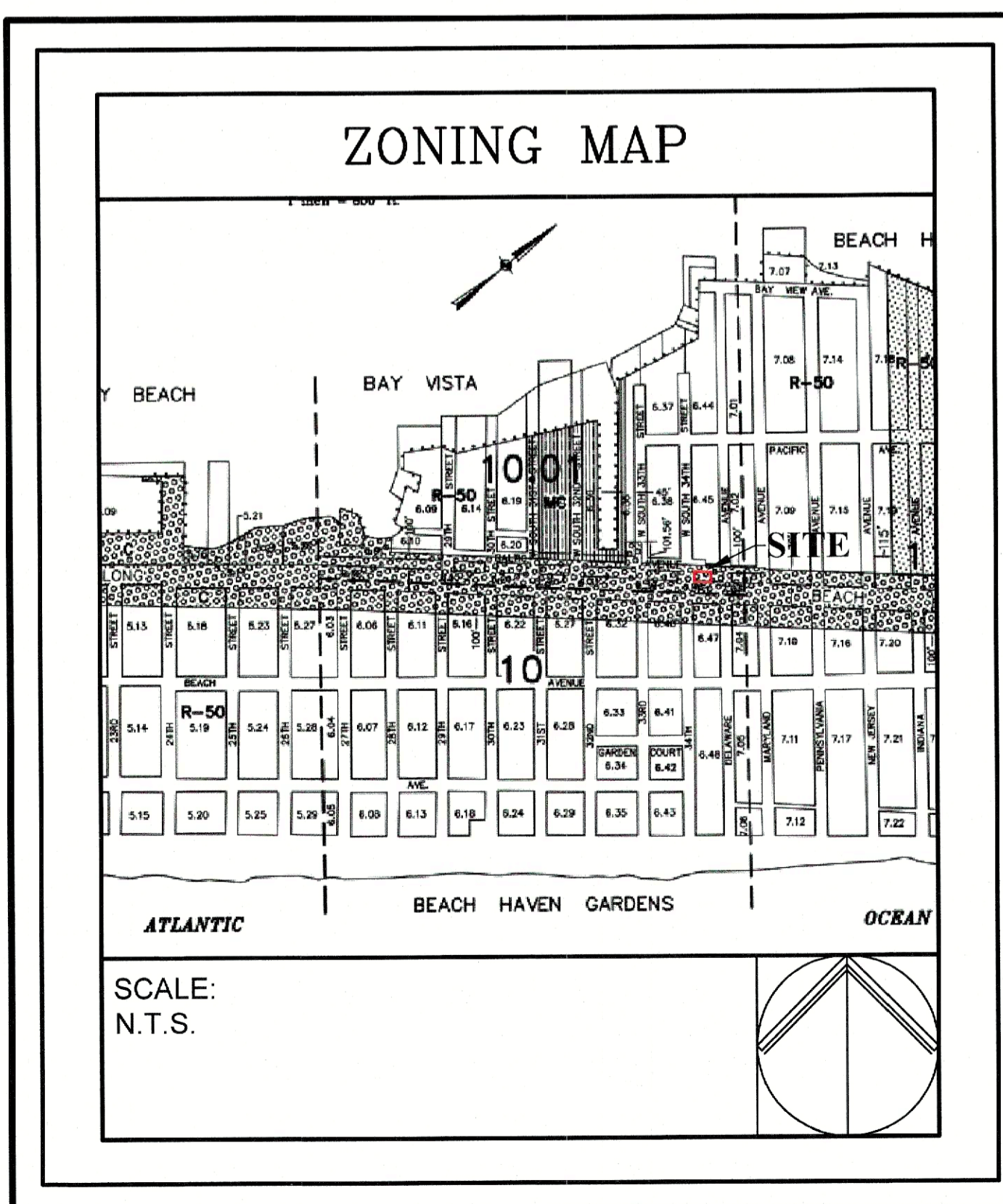
ATTEST:

CHAIRPERSON _____

SECRETARY _____ DATE _____

PLANNING BOARD ENGINEER _____ DATE _____

MUNICIPAL CLERK _____ DATE _____



DATE	REVISION	DRAWN	CHECKED	RELEASED

TITLE SHEET

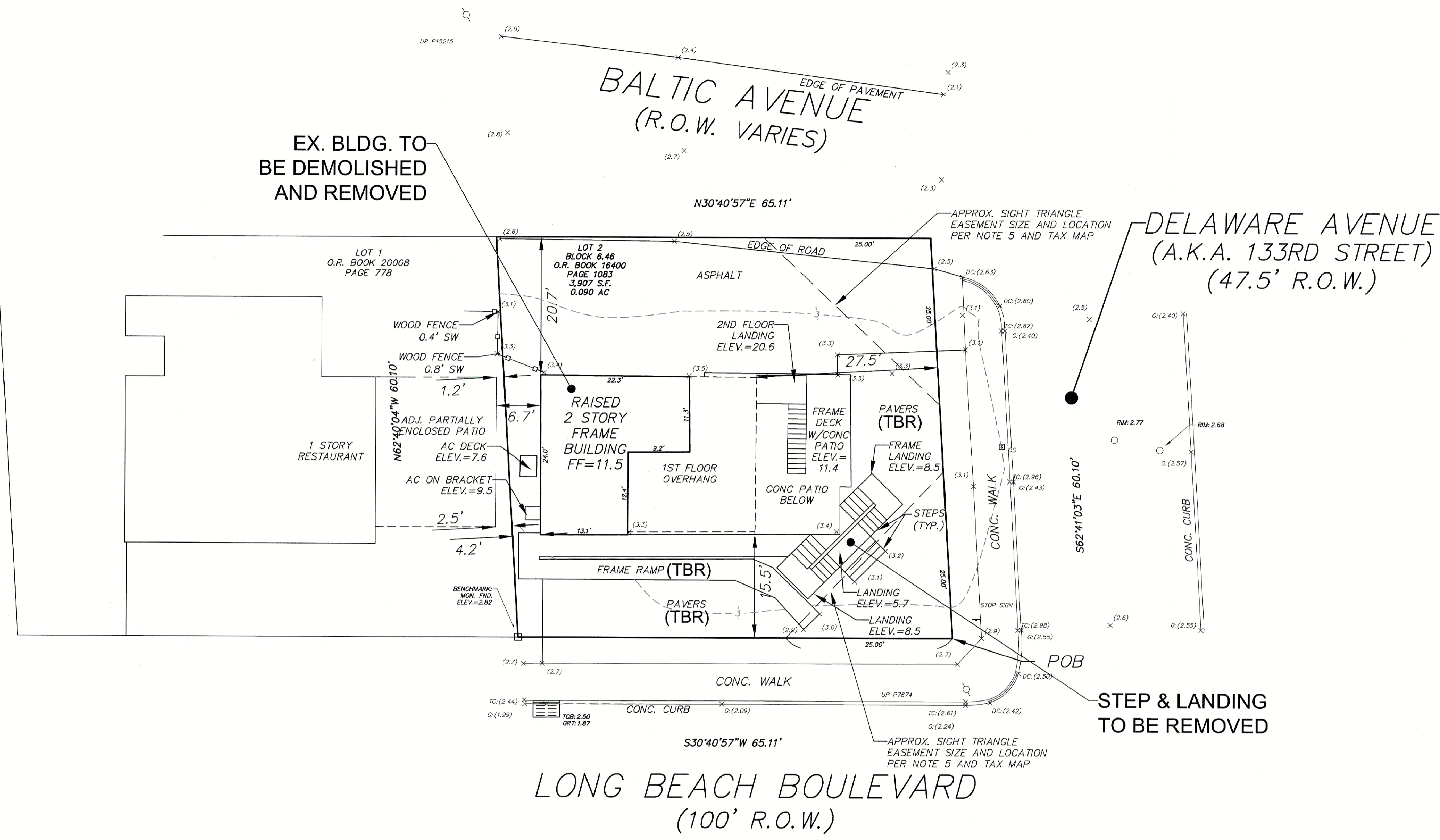
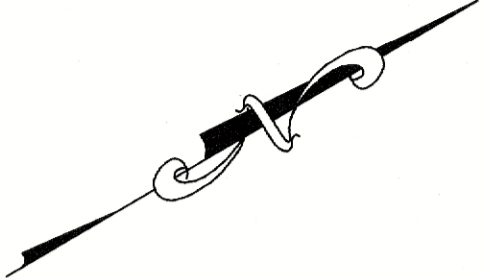
MINOR SITE PLAN
13302 LONG BEACH BOULEVARD
 LOT 2 ~ BLOCK 6.46
 TAX MAP SHEET NO. 9
 SITUATED IN
 LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY

FWH ASSOCIATES, P.A.
 CIVIL ENGINEERS LAND SURVEYORS
 PLANNERS LANDSCAPE ARCHITECTS
 RESERVE SPECIALISTS ARCHITECTS
FWHASSOCIATES.COM
 1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

Christopher P. Rosati
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 41981

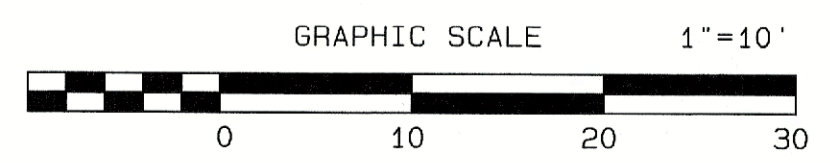
DESIGNED BY JMF	DATE 04/07/26
CHECKED BY JMF	SCALE N.T.S.
RELEASED BY CPR	PROJECT NO. 6907.0001
SHEET NO. 1	OF 5

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- NOTES:
1. THE ABSENCE OR PRESENCE OF WETLANDS HAS NOT BEEN DETERMINED BY THIS OFFICE.
 2. NO ATTEMPT HAS BEEN MADE TO DETERMINE WHETHER ANY PORTION OF THIS PROPERTY HAS BEEN CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS.
 3. PROPERTY LIES IN FLOOD ZONE AE, BASE FLOOD ELEVATION: 9 PER FLOOD INSURANCE RATE MAP NO. 34029C0603F, EFFECTIVE DATE: SEPTEMBER 29, 2006. PER PRELIMINARY FIRM PANEL 34029C0603G ISSUED JANUARY 30, 2015, THE PROPERTY LIES WITHIN FLOOD ZONE AE BASE FLOOD ELEVATION: 8
 4. BEARINGS SHOWN HEREON HAVE BEEN ROTATED TO NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 1983) FROM REFERENCE SURVEY.
 5. THIS SURVEY WAS UPDATED WITH A TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, BEING FILE NUMBER FN7510 WITH A POLICY DATE OF MAY 24, 2016.

- LEGEND
- MONUMENT FOUND
 - PIN/CAP FOUND
 - ⊗ IRON PIPE FOUND
 - ⊕ NAIL FOUND
 - ⊙ PK NAIL FOUND
 - STONE FOUND
 - PIN/CAP SET
 - MONUMENT SET
 - ⊙ PK & DISC SET
 - FILED MAP LOT #



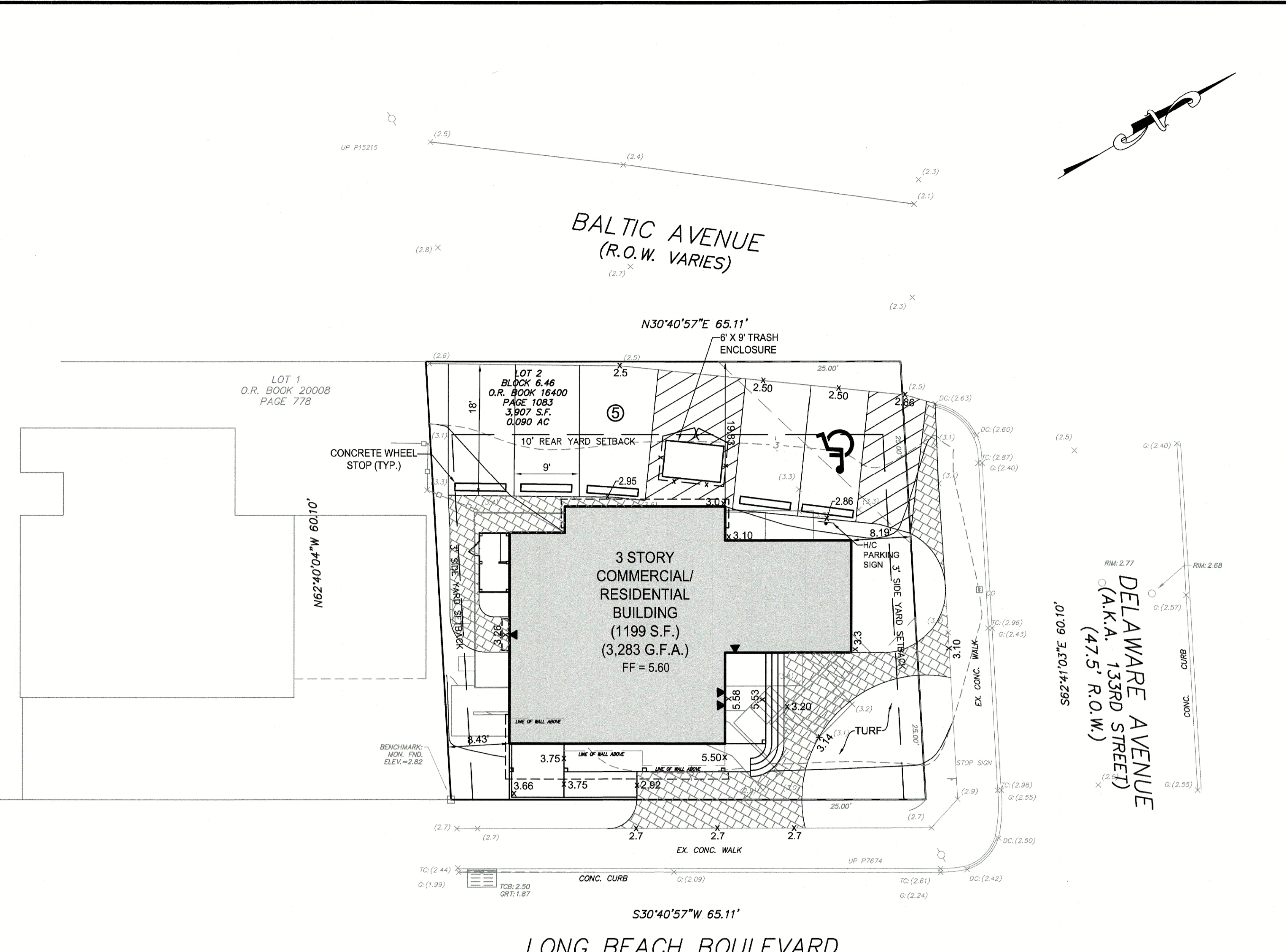
DATE	REVISION	DRAWN	CHECKED	RELEASED
EXISTING CONDITIONS/DEMOLITION PLAN				
MINOR SITE PLAN 13302 LONG BEACH BOULEVARD LOT 2 - BLOCK 6.46 TAX MAP SHEET NO. 9 SITUATED IN LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY				
		CIVIL ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS RESERVE SPECIALISTS ARCHITECTS FWHASSOCIATES.COM 1856 Rt. 9, Tombs River, NJ 08755 T: 732.797.3100 F: 732.797.3223		
DRAWN BY CSM DESIGNED BY JMF CHECKED BY JMF RELEASED BY CPR	DATE 04/07/26 SCALE 1"=10' DRAWING NO. PROJECT NO. 6907.0001	PROFESSIONAL ENGINEER N.J. LIC. NO. 41981 Christopher P. Rosati	PROFESSIONAL LAND SURVEYOR N.J. LIC. NO. 98275 William P. Schemel	SHEET NO. OF 2 5

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April 7, 2026 Client# 6907 0001
List of adjoiners within 200 feet

Block 6.46	Lot 2	Owner(s)
Block 6.38	Lot 12	Martin, Joseph III & Diane M 13404 Baltic Ave Long Beach Twp, NJ08008
Block 6.38	Lot 13	Christ, James E 2025 Trust 3515 Society Place Newtown, PA 18940
Block 6.38	Lot 14	Ribeiro, Luis Miguel & Julie R 5 Covenager Drive Medford, NJ08055
Block 6.39	Lot 1	MKG Assoc % APD 928 W State St Trenton, NJ08618
Block 6.40	Lot 1	208 24 th Street LLC 4569 South Broad Street Yardville, NJ08620
Block 6.45	Lot 7	Gasparini, Patricia 227 Longview Road Bridgewater, NJ08807
Block 6.45	Lot 8	McCrystal, Kathleen 78 McKinley Drive Ocean Township, NJ07712
Block 6.45	Lot 9	Miller, Gregory A & Judy P Etal 2100 Willow Brook Dr Huntingdon Valley PA 19006
Block 6.45	Lot 10	Powers, Kathryn & Kopec, C Etal 13312 Baltic Ave Beach Haven Gardens, NJ08008
Block 6.45	Lot 11	Township of Long Beach 6805 Long Beach Blvd Brant Beach, NJ08008
Block 6.45	Lot 12	Township of Long Beach 6805 Long Beach Blvd Long Beach Township, NJ08008
Block 6.45	Lot 13	Dodd, Stephen J & Walston-Dodd, K 296 New Vernon Rd Middletown, NY 10940
Block 6.45	Lot 14	Fox, Mary Agnes 340 E Ashland St Doylestown, PA 18901
Block 6.45	Lot 15	Murawski, Peter & Laura 32 Locust Grove Dr Clark, NJ07066
Block 6.46	Lot 1	133 Blvd LLC 11205 Long Beach Blvd Long Beach Twp, NJ08008
Block 6.46	Lot 2	Tip Holdings LLC 2649 River Road Manasquan, NJ08736
Block 6.47	Lot 1	Township of Long Beach 6805 Long Beach Blvd Long Beach Township, NJ08008
Block 7.02	Lot 11.01	Pocock, George C & Dolores C 407 Tanner Avenue Hatboro, PA 19040
Block 7.02	Lot 11.02	Purcell, Beth & Hart, Ronald W Jr 430 Seidge Place Brick, NJ08724
Block 7.02	Lot 12	Flo, Christopher & Michele C 23 Eon Court Wayne, NJ07470
Block 7.02	Lot 13	Val's Beach House LLC 3 West Delaware Avenue Beach Haven, NJ08008

Block 7.02	Lot 14	Angona, Anthony J & Judith 246 Quail Lane Lanoka Harbor, NJ08734
Block 7.02	Lot 14	Gallagher, Shane 863 Cedar Run Dock Road Stafford Township, NJ08092
Block 7.02	Lot 14	TSM Real Estate Holdings LLC 441 Livermore Avenue Staten Island, NY 10314
Block 7.02	Lot 14	Parente, Alfonso A Jr & Kim R 156 Oxford Road Delran, NJ08075
Block 7.02	Lot 15	Borteck, Andrew & Daina 28 Speir Drive South Orange, NJ07079
Block 7.02	Lot 16	Malinowski, Anthony 3 Roosevelt Rd White House Station, NJ08689
Block 7.02	Lot 18	Moore, Brian & Corinne 1179 Blazo Terrace Mountainside, NJ07092
Block 7.03	Lot 1	Township of Long Beach 6805 Long Beach Blvd Brant Beach, NJ08008
Block 7.04	Lot 1	Finnegan, Jacob Enterprises LLC 13201 Long Beach Blvd Long Beach Township, NJ08008
Block 7.04	Lot 2	Labenski, Luke & Javidian, Parvash 324 Lakeshore Drive Marlton, NJ08053
Block 7.04	Lot 13	Finnegan, Jacob Enterprises LLC 13201 Long Beach Blvd Long Beach Township, NJ08008
Atlantic City Electric Real Estate Department 5100 Harding Highway, Suite 399 Mays Landing, New Jersey 08330		
Verizon Engineering Department 423 W Washington Avenue, Floor 2 Pleasantville, New Jersey 08232		
Comcast Attn: Josh Cosulich 830 Route 37 West Toms River, New Jersey 08755		
New Jersey Natural Gas Right of Way Department 1415 Wyckoff Road Wall, New Jersey 07719		
Ocean County Planning Board PO Box 2191 Toms River, New Jersey 08754-2191		



AERIAL MAP

- GENERAL NOTES:**
- PROPERTY KNOWN AND DESIGNATED AS BLOCK 6.46, LOT 2 AS SHOWN ON THE LONG BEACH TOWNSHIP TAX MAP SHEET NO. 9.
 - PROPERTY IS LOCATED IN THE C (GENERAL COMMERCIAL).
 - EXISTING LOT AREA = 3,907 SF OR 0.090 ACRES.
 - TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED ON A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY", LOT 2, BLOCK 6.46, SITUATED IN LONG BEACH TOWNSHIP, OCEAN COUNTY, N.J., PREPARED BY FWH ASSOCIATES, P.A. DATED 10/9/25.
 - EXISTING USE: COMMERCIAL / RESIDENTIAL
 - PROPOSED USE: COMMERCIAL / RESIDENTIAL
 - OWNER: TIP HOLDINGS, LLC
13302 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP, NJ 08008
 - APPLICANT: TIP HOLDINGS, LLC
13302 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP, NJ 08008
 - MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION", 2007, AS SUPPLEMENTED
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, REQUIREMENTS
 - ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
 - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
 - UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
 - STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH 10" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOR SUPERSEAL OR EQUIVALENT), 16 GAUGE ALUMINIZED TYPE 'C' COATED CORRUGATED PIPE (CCP), AND N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), MANHOLE SURE-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
 - CONCRETE STORM SEWERS, IF ANY, SHALL HAVE EITHER RUBBER GASKET OR BUTYL TAPE JOINTS AND SHALL BE WRAPPED WITH MORTAR AND FABRIC ON THE OUTSIDE.
 - ROOF LEADERS TO BE TIED INTO STORM SEWER SYSTEM AS SHOWN WITH A MIN. 1% SLOPE.
 - BEDDING AND BACKFILL REQUIREMENTS FOR ALL HDPE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNING SHALL BE INCLUDED ON HANDICAPPED ACCESSIBLE RAMPS LOCATED ON PUBLIC ROADWAYS AND WHERE OTHERWISE DIRECTED BY A REGULATORY AGENCY HAVING JURISDICTION.
 - TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
 - THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE EXCAVATED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL ENGINEER IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
 - THE OWNER, OR HIS REPRESENTATIVE, SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.22(a) OR THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.320) (OSHA COMPETENT PERSON).
 - THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

IMPERVIOUS COVERAGE

	Area	Percent
Existing	3,721.74 SF	95.25%
Proposed	3,227.83 SF	82.61%

*Per 205-59.G., Maximum Impervious Coverage shall be 75%. Site improvements reduce the amount of impervious coverage on-site.

PROPOSED BUILDING COVERAGE

Building Footprint = 1,199 SF

Building GFA = 3,283 SF

1 st floor Commercial =	1,078 SF
2 nd floor Residential =	1,077 SF
3 rd floor Residential =	1,007 SF

SCHEDULE OF BULK REQUIREMENTS

Long Beach Township, Ocean County
Zone: C1 (General Commercial)
205-59.C.1.4
Block 6.46 ~ Lot 2

Requirement	Permitted	Proposed
Minimum Lot Area	6,000 SF	3,907 SF*(1)
Minimum Lot Width	60 FT	60.10 FT
<i>PRINCIPAL BUILDING</i>		
Minimum Rear Yard Setback	10 FT	19.83 FT
Minimum Side Yard Setback	3 FT	8.19 FT
Maximum Impervious Coverage	75 %	82.61 %*(2)

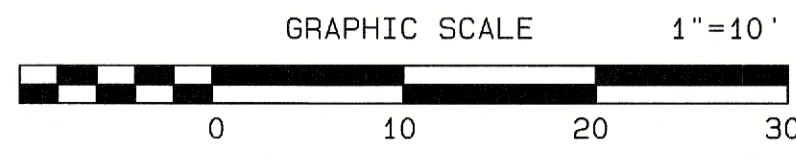
Parking*(3) *(4)
Eating Establishment Use = 1 space per six (6) seats
11 seats / 6 seats = 2 Parking Spaces

Residential Use = Zero to 3,000 square feet: three (3) off-street parking spaces
1,198 SF = 3 Parking Spaces
TOTAL SPACES REQUIRED = 5 Parking Spaces Required
= 5 Parking Spaces Provided

*** Variance Required**

- Existing Non-Conforming - developed site is less than 6,000 SF
- Variance required - Existing site is currently over 95% impervious and reduced to 82.61% impervious.
- Conditional Use Variance required from 205-59.A-18.C - More than 50% of the proposed parking must be used for the commercial use.
- Variance required from 205-6 - A proposed parking space is located within a sight triangle easement.

- LEGEND**
- EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - PARKING SPACE COUNT
 - PROPOSED SIGN



DATE	REVISION	DRAWN	CHECKED	RELEASED
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SITE AND GRADING PLAN

MINOR SITE PLAN
13302 LONG BEACH BOULEVARD
LOT 2 - BLOCK 6.46
TAX MAP SHEET NO. 9
SITUATED IN
LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY

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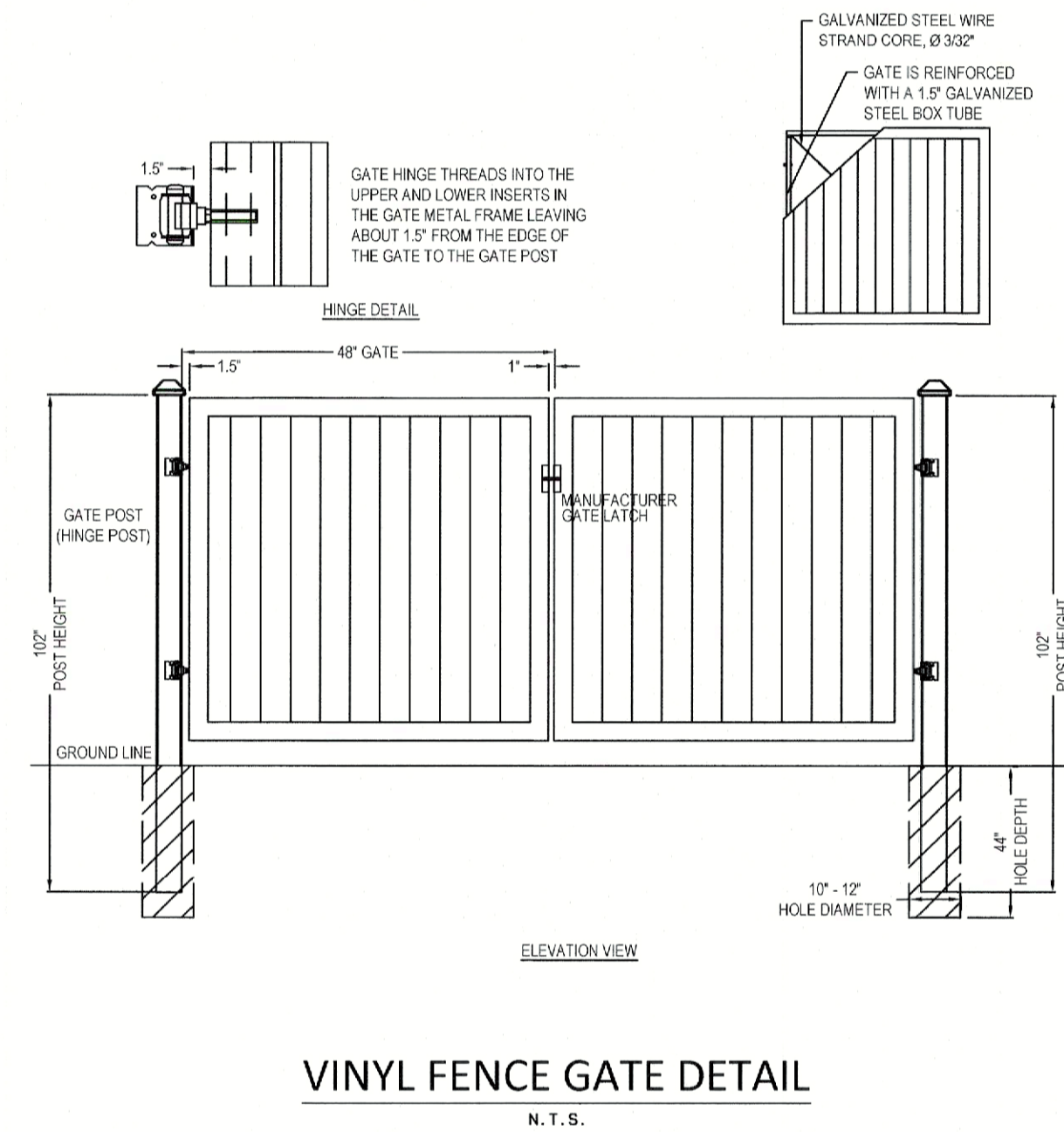
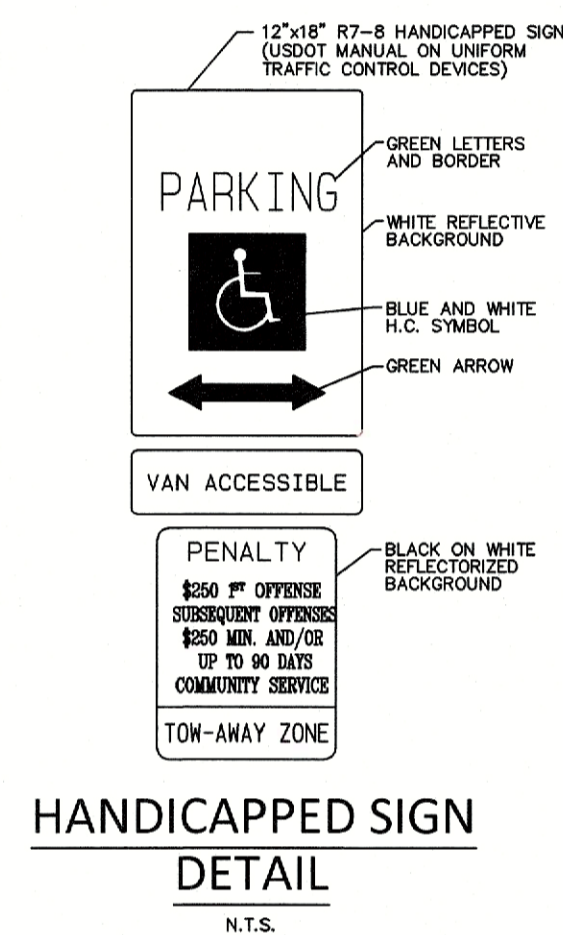
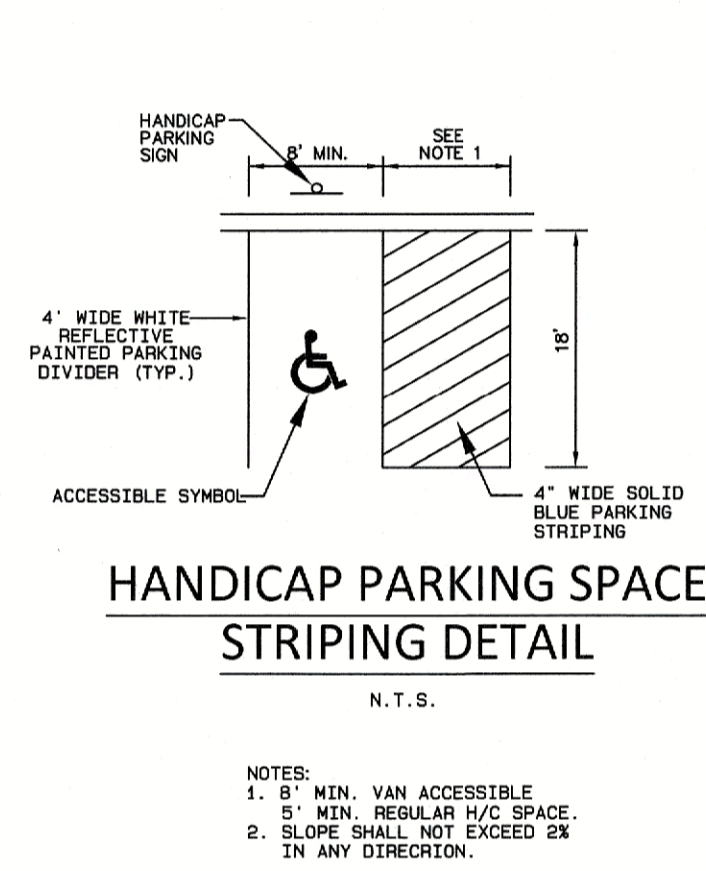
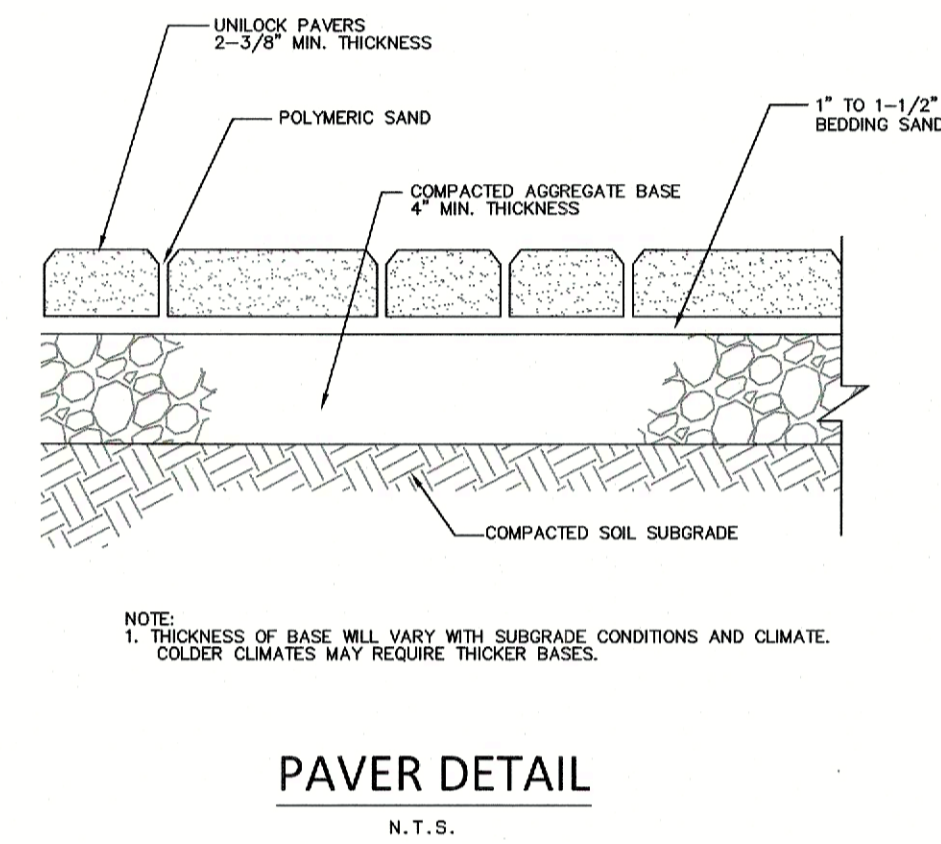
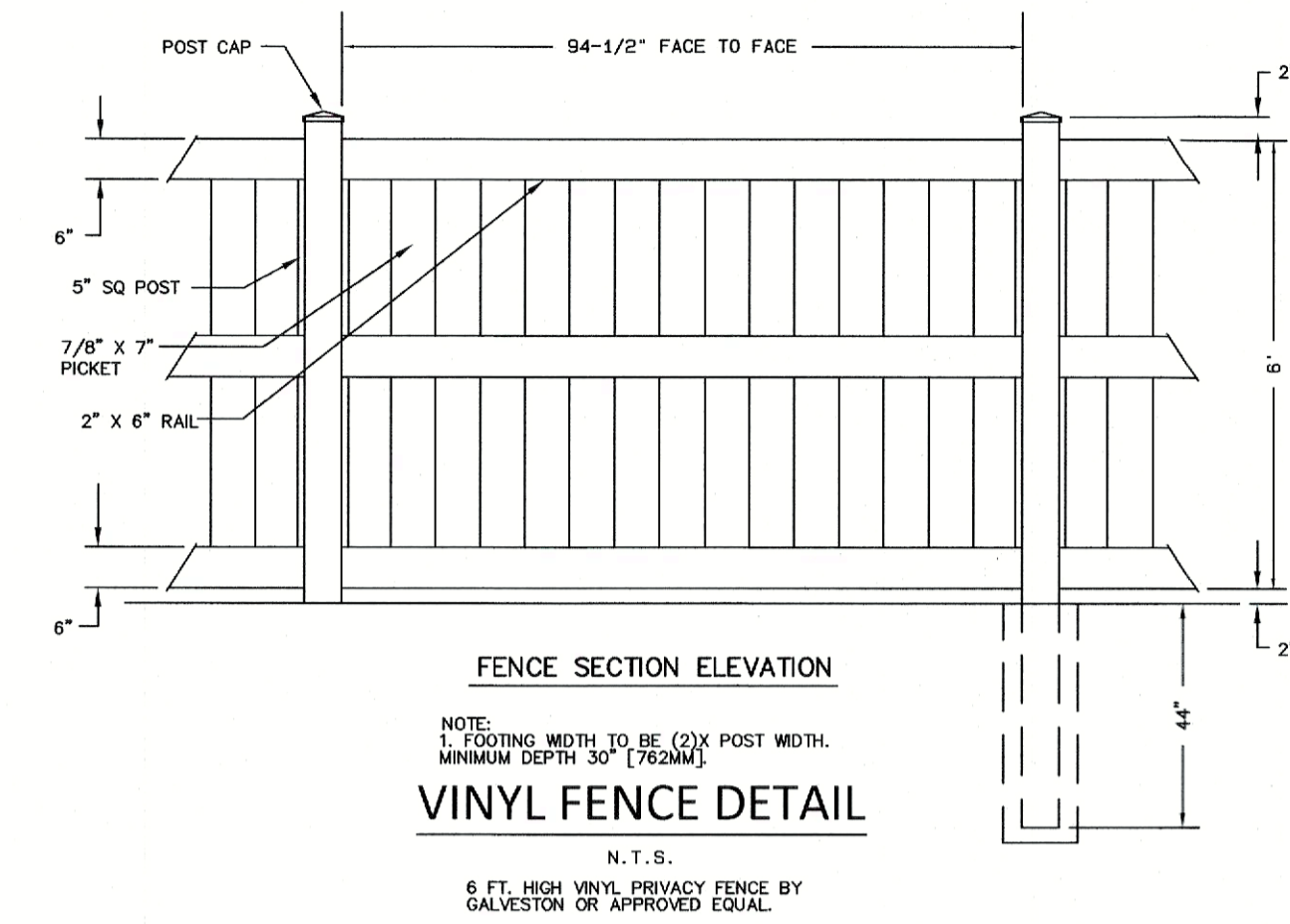
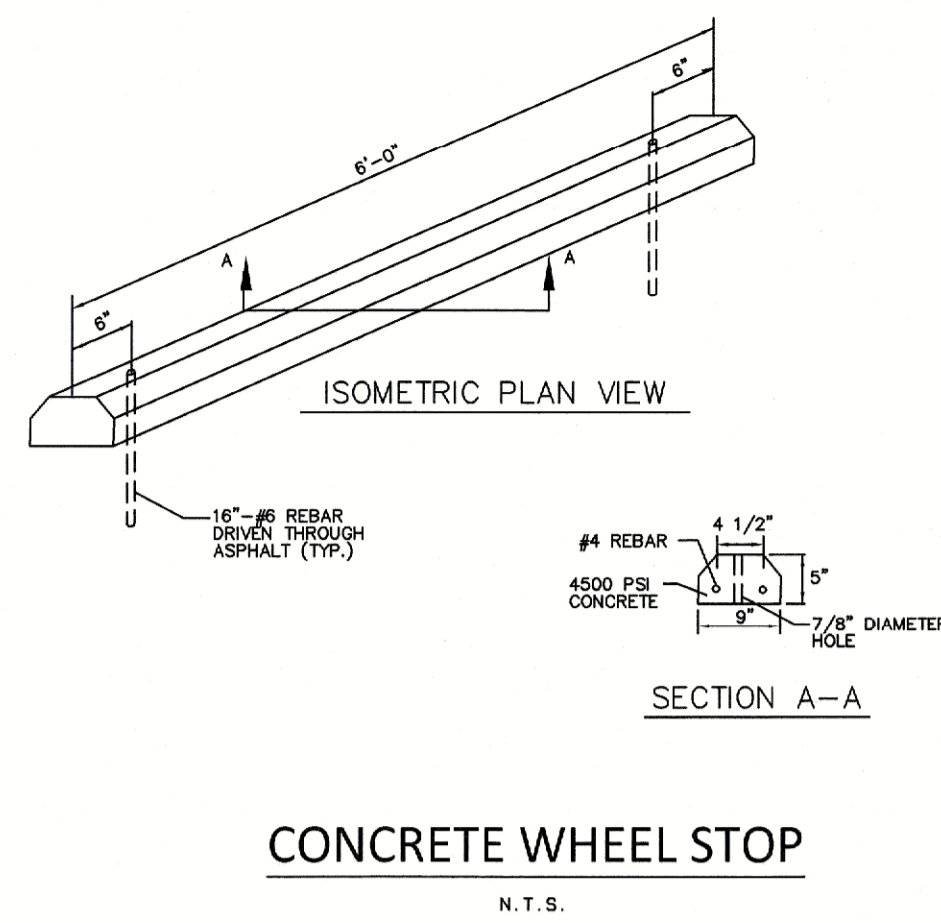
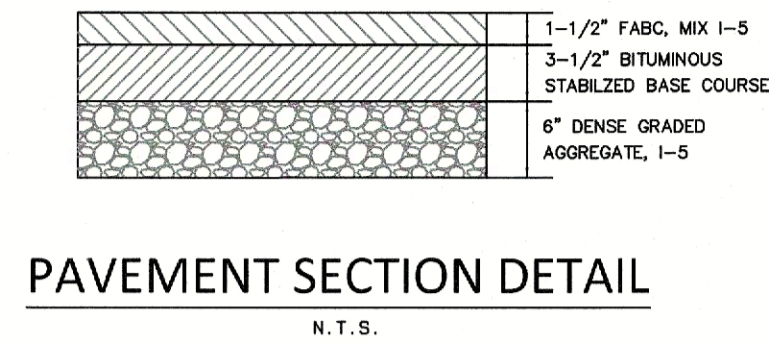
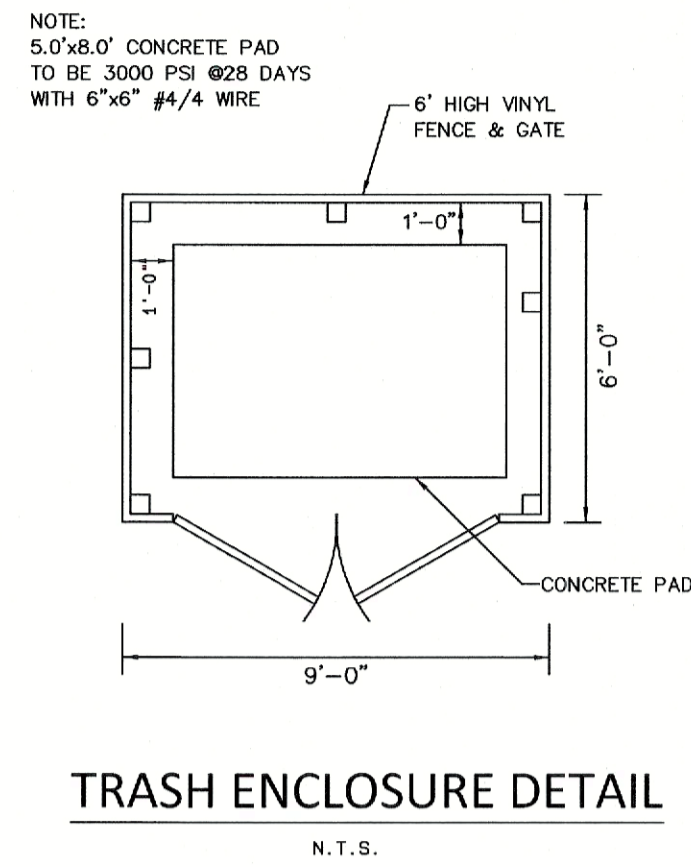
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SHEET NO.	OF
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