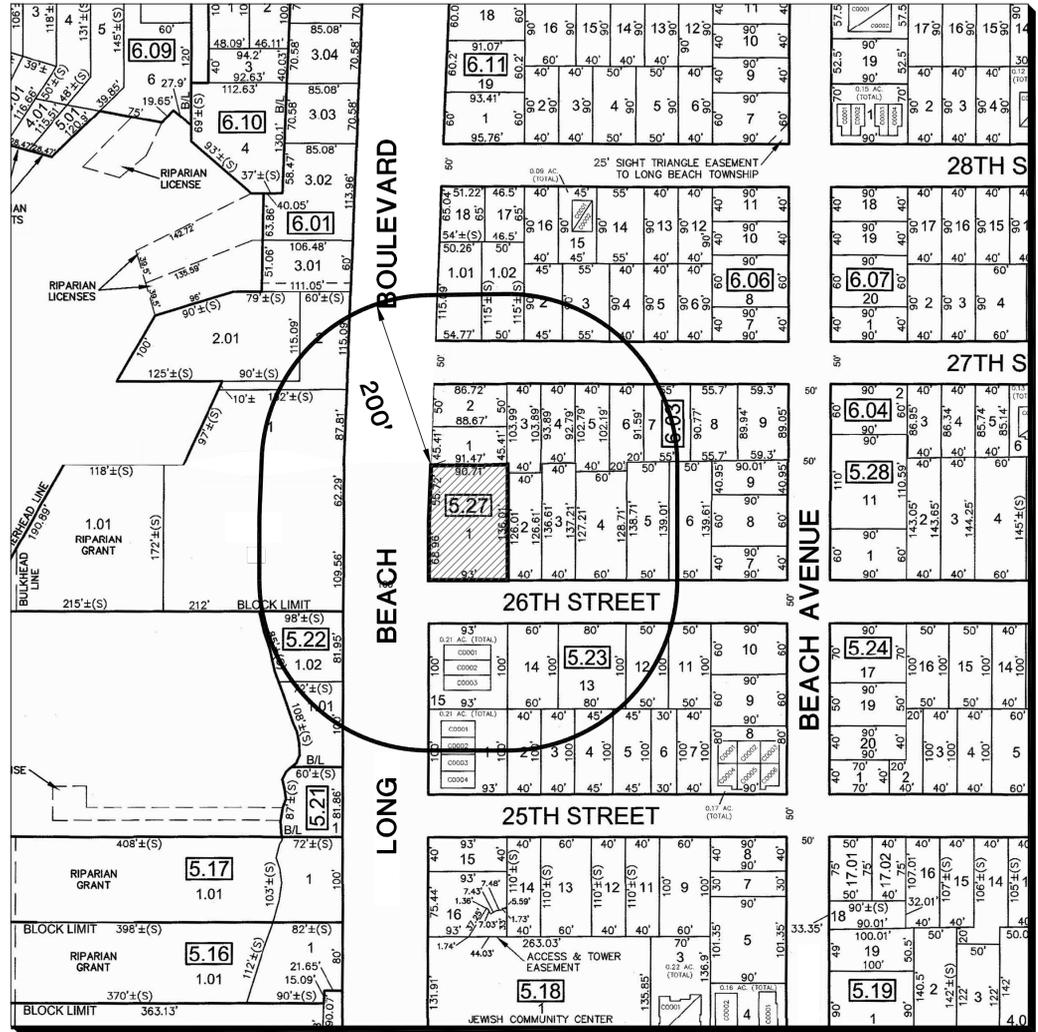
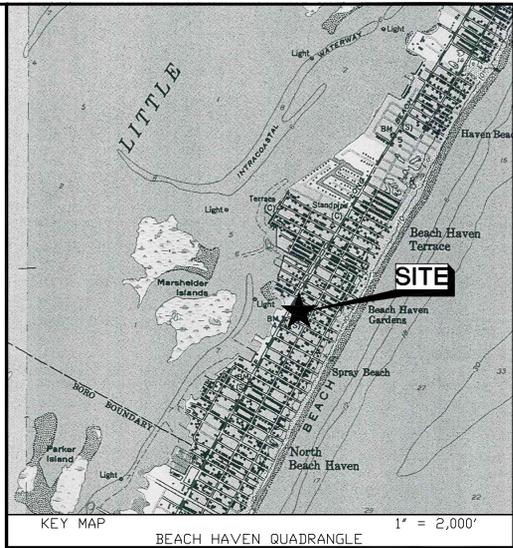


SITE PLAN FOR BAGEL BOY PROPERTIES, LLC

2609 LONG BEACH BOULEVARD BLOCK 5.26, LOT 1
LONG BEACH TOWNSHIP, OCEAN COUNTY NEW JERSEY
ZONE: C, TAX MAP SHEET # 7



AREA MAP 1"=100'

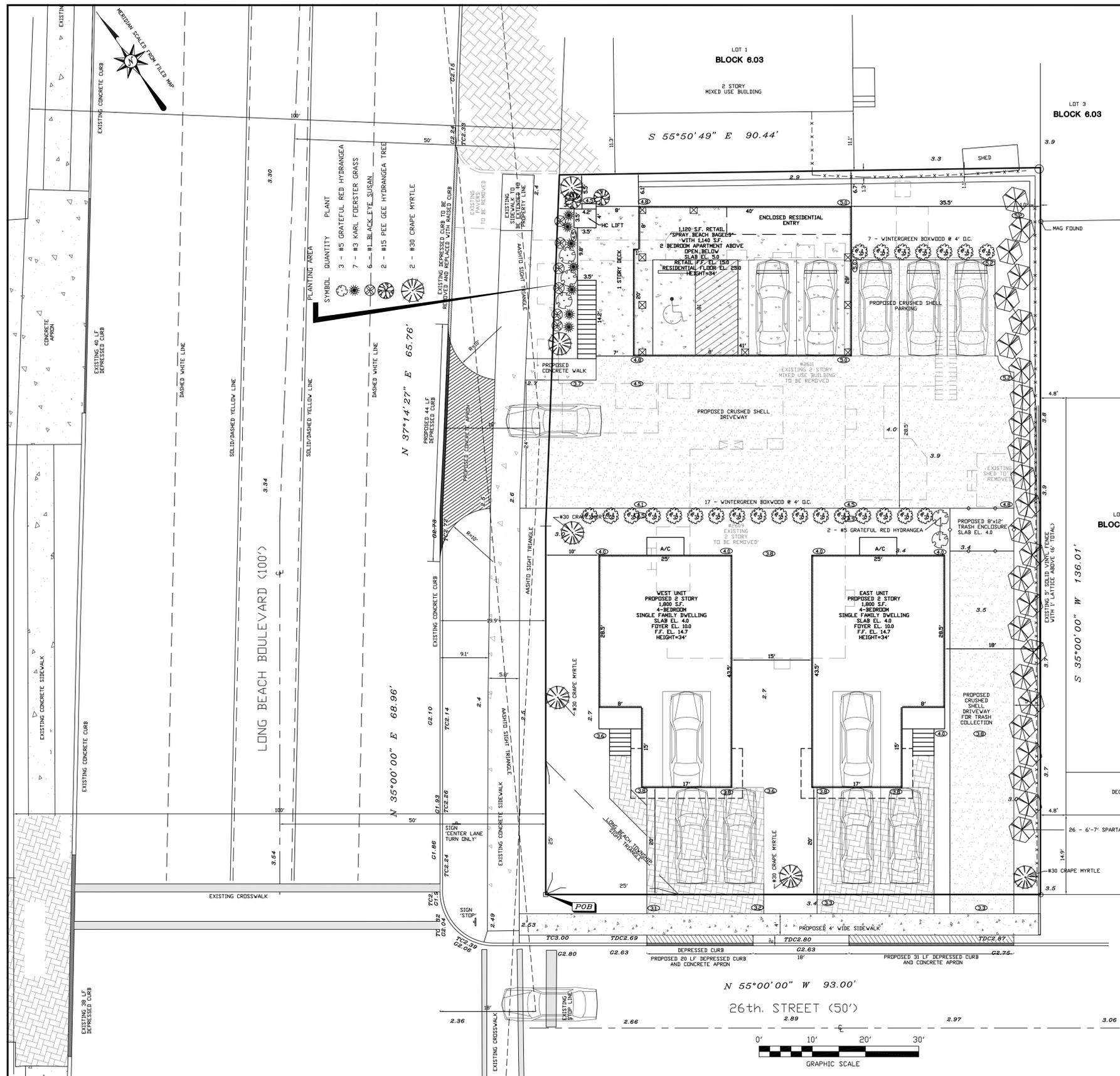
HORN, TYSON & YODER, INC.
CONSULTING ENGINEERS, SURVEYORS-PLANNERS
CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022
8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424
PHONE (609) 492-5050

James D. Brzozowski
JAMES D. BRZOZOWSKI, P.E., P.P.
Professional Engineer, N.J. License Number GE44223
Professional Planner, N.J. License Number 33L00696400

SITE PLAN -
COVER PAGE
LOT 1, BLOCK 5.27
TAX MAP SHEET # 7
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

SCALE: AS SHOWN	DRAWN BY: JDB	SHEET 1
JOB NO.: 06-166	DATE: 1/23/2026	OF 4

OWNER/APPLICANT:
BAGEL BOY PROPERTIES, LLC
59 HAVENWOOD DRIVE
LIVINGSTON, NJ 07039



ZONING SCHEDULE C- GENERAL COMMERCIAL ZONE				
	CODE	REQUIRED	EXISTING	PROVIDED
LOT AREA: LOT WIDTH	205-59.C(1) 205-59.C(1)	6,000 S.F. 60 FT.	12,500.65 S.F. 93 FT.	12,500.65 S.F. 93 FT.
SETBACKS: FRONT SIDE REAR	205-59.C 205-59.C(2) 205-59.C(4)	NO REQUIREMENT 3 FT. 10 FT.	0.5 FT. (LB BLVD) 44.2 FT./16.1 FT. 15.8 FT.	3 FT. (LB BLVD) 6.1 FT./20 FT. (26TH STREET) 18 FT.
BUILDING COVERAGE IMPERVIOUS COVERAGE (%) IMPERVIOUS IN YARD ADJACENT TO STREET SETBACK TO IMPERVIOUS SURFACES ¹	205-33.B(3)(a) 205-33.B(3)(a) 205-33.B(4)	NO REQUIREMENT 75% 75% 1.5 FT.	27.8% 42.2% 0% 1 FT.**	27.8% 38.1% 49.7% (26TH STREET) 5 FT.
HEIGHT ²	205-10.A	34 FT.	22 FT.	34 FT.
PARKING 3 - APARTMENTS < 3,000 S.F. RETAIL 2 SPACES/1,000 S.F.	205-55.E(1) 205-59.E(3)	3/UNIT - 9 TOTAL SPACES 3 SPACES		9 SPACES 3 SPACES
TOTAL		12 SPACES		12 SPACES
CONDITIONS FOR A MIXED USE BLDG	205-59.A(18)(a) 205-59.A(18)(b) 205-59.A(18)(b) 205-59.A(18)(c)	NO RESIDENTIAL USE ON 1ST FLOOR EXCEPT ACCESS AREA OF 2ND FLOOR RESIDENTIAL ≤ AREA OF 1ST FLOOR COMMERCIAL AREA OF 3RD FLOOR RESIDENTIAL ≤ AREA OF 2ND FLOOR RESIDENTIAL # OF RESIDENTIAL PARKING SPACES TO BE ≤ # OF COMMERCIAL PARKING SPACES		ONLY RESIDENTIAL ACCESS IS PROVIDED ON 1ST FLOOR 1ST FLOOR COMMERCIAL (1,120 S.F.) GREATER THAN 2ND FLOOR RESIDENTIAL (1,064 S.F.) NOT APPLICABLE THERE IS NOT 3RD FLOOR IN THE MIXED USE BUILDING # COMMERCIAL PARKING (3 SPACES) IS LESS THAN THE # RESIDENTIAL PARKING (9 SPACES) *

- 1 THE EIGHTEEN-INCH PERVIOUS AREA IS NOT REQUIRED FOR DRIVEWAYS WITH A MINIMUM SIX-INCH-HIGH CURBLINE ALONG THE SIDE OF A DRIVEWAY ABUTTING A PROPERTY LOT LINE.
- 2 HEIGHT OF THE PROPOSED MIXED USE BUILDING IS TAKEN FROM THE AVERAGE ELEVATION AT THE CENTER OF LONG BEACH BOULEVARD (3.4 NAVD) HEIGHT OF THE PROPOSED SINGLE FAMILY HOMES ARE TAKEN FROM THE AVERAGE ELEVATION OF 26TH STREET (ELEVATION 2.8)

- NOTES:**
- A.K.A. LOTS 1 THRU 6 AND PORTION OF 10' ALLEY NORTHERLY THEREOF, BLOCK P, FILED MAP B-216, "PLAN OF SPRAY BEACH", FILED 7/14/1924.
 - FLOOD ZONE AE, BASE FLOOD ELEVATION 8 AS SHOWN ON FIRM #34029C0603F
 - BASED UPON THE OCEAN COUNTY, NJ PRELIMINARY FIRM #34029C0603G, THE PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 8. THE PROPERTY IS LOCATED WITHIN THE "COASTAL A" ZONE
 - ELEVATIONS NAVD (1988)
 - TOTAL TRACT AREA: 12,500.65 S.F. (0.29 AC.)
 - TOPOGRAPHY AND SURVEY INFORMATION IS AS SHOWN ON A PLAN PREPARED BY HORN, TYSON & YODER, INC., SIGNED BY LEON J. TYSZKA, PLS GS35888 TITLED "MAP SHOWING SURVEY OF LOTS 1 & 10, BLOCK 5.27 TAX MAP SHEET #5 LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY, DATED 1/26/2016, LAST REVISED 6/14/2023.
 - PROPOSED BUILDING COVERAGE IS 33.0% OF THE LOT AREA.
 - THE LOCATION, SIZE, AND TYPE OF MATERIAL OF UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE NOT GUARANTEED, BUT ARE BASED UPON THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND TYPE OF MATERIAL OF ALL UNDERGROUND UTILITIES THROUGH MARK-OUTS DONE BY THE OWNER OF THE UTILITY AND IF NECESSARY BY TEST PIT AND ADVISE THE ENGINEER OF ANY CONFLICTS SO THAT APPROPRIATE REVISIONS CAN BE MADE TO THE PLANS TO CARRY OUT THE INTENT OF THE DESIGN ALL AT NO COST TO THE ENGINEER.
 - EXISTING CURB AND SIDEWALK SHALL BE REMOVED AND REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH CURRENT DESIGN STANDARDS AS DIRECTED BY THE BOROUGH ENGINEER.
 - ALIGNMENT AND GRADE FOR CURB AND ROAD IMPROVEMENTS ALONG LONG BEACH BOULEVARD SHALL BE ESTABLISHED BY THE DEVELOPER'S ENGINEER AS APPROVED BY THE OCEAN COUNTY ENGINEER. STAKEOUT OF ALL CURB AND ROAD IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE EXECUTED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR CURB AS-BUILTS SHALL BE SUBMITTED TO THE OCEAN COUNTY ENGINEER PRIOR TO ANY PAVING OPERATIONS. FINAL AS-BUILT INFORMATION SHALL BE SUPPLIED ON A REPRODUCIBLE MEDIUM, WILL INCLUDE TOP AND BOTTOM OF CURB, CENTERLINE AND QUARTER CROWN GRADES, MONUMENTS WHERE APPLICABLE, SHALL BE SIGNED AND SEALED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR AND ACCOMPANIED BY A MONUMENT CERTIFICATION WHERE APPLICABLE.
 - THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT FOR ALL ROAD IMPROVEMENTS ALONG LONG BEACH BOULEVARD PRIOR TO THE RELEASE OF ANY BOND OR OTHER FINANCIAL SURETY POSTED WITH THE MUNICIPALITY FOR THE COMPLETION OF SAID IMPROVEMENTS.
 - THE DEVELOPER IS REQUIRED TO OBTAIN A PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHT-OF-WAY OF LONG BEACH BOULEVARD.
 - THE ONLY SITE LIGHTING PROPOSED WILL BE TYPICAL RESIDENTIAL LIGHTING.

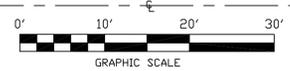
PROPOSED PLANT TOTALS

SYMBOL	QUANTITY	PLANT
	5	#5 GRATEFUL RED HYDRANGEA
	7	#3 KARL FOERSTER GRASS
	6	#1 BLACK EYE SUSAN
	2	#15 PEE GEE HYDRANGEA TREE
	6	#30 CRAPE MYRTLE
	26	6'-7' SPARTAN JUNIPER
	24	#3 WINTERGREEN BOXWOOD

APPROVED
BY THE LONG BEACH TOWNSHIP LAND USE BOARD

CHAIRMAN _____
SECRETARY _____
ENGINEER _____

LEGEND:
PDB = POINT OF BEGINNING
C = CENTERLINE
E/P = EDGE OF PAVEMENT
5.41 = SPOT ELEVATION
Ø = UTILITY POLE
AC = AIR CONDITIONER
⊕ = GAS MARKER
⊕ = WATER VALVE



HORN, TYSON & YODER, INC.
CONSULTING ENGINEERS, SURVEYORS-PLANNERS
CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022
8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424
PHONE (609) 492-5050

JAMES D. BRZOZOWSKI, P.E., P.P.
Professional Engineer, N.J. License Number: GE44223
Professional Planner, N.J. License Number: 33L00696400

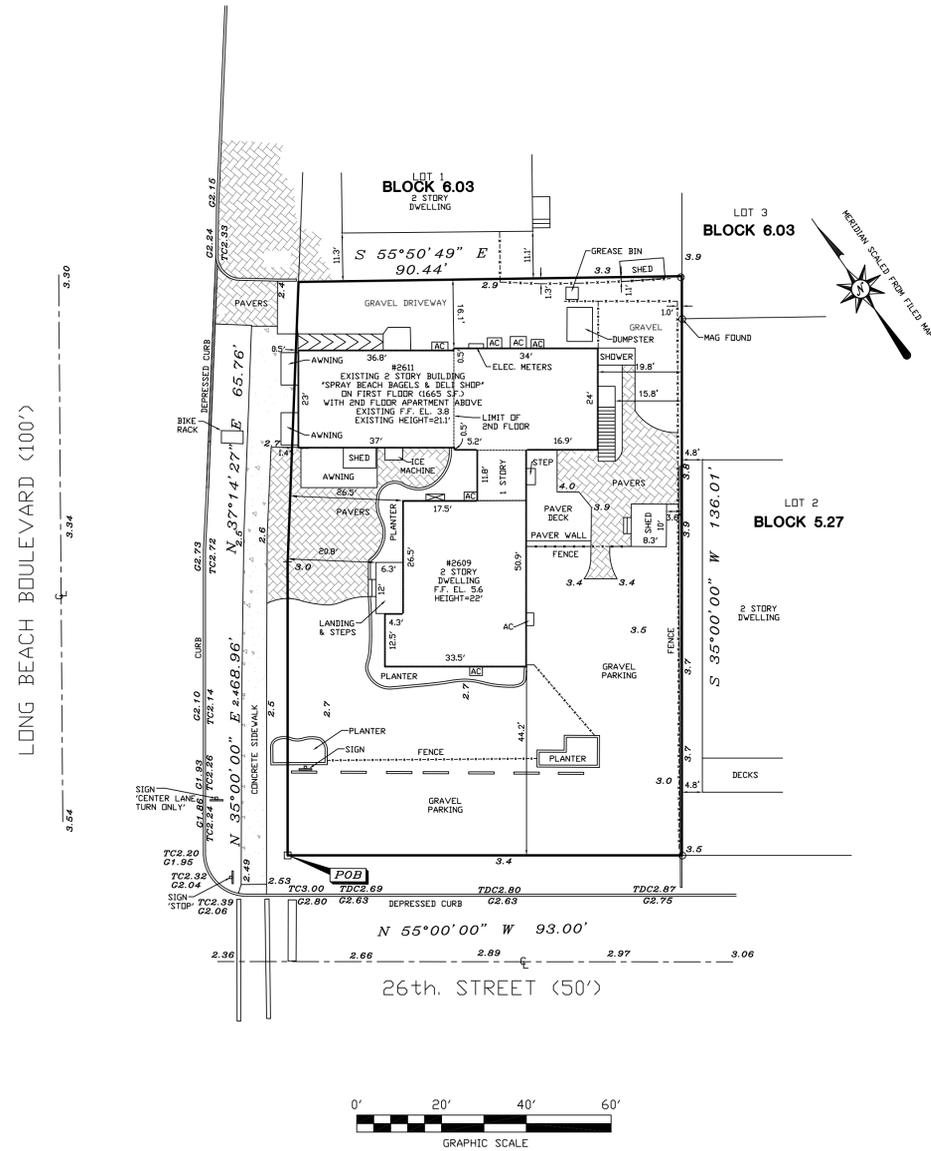
SITE PLAN
LOT 1, BLOCK 5.27
TAX MAP SHEET # 7
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

OWNER/APPLICANT:
BAGEL BOY PROPERTIES, LLC
59 HAVENWOOD DRIVE
LIVINGSTON, NJ 07039

SCALE: 1" = 20'
DRAWN BY: RJT
JOB NO.: 06-166
DATE: 1/23/2026

SHEET 2
OF 4

- LEGEND-**
- PDB = POINT OF BEGINNING
 - CL = CENTERLINE
 - E/P = EDGE OF PAVEMENT
 - 5.41 = SPOT ELEVATION
 - Ø = UTILITY POLE
 - AC = AIR CONDITIONER
 - ⊕ = GAS MARKER
 - ⊕ = WATER VALVE



ZONING SCHEDULE
C- GENERAL COMMERCIAL ZONE

	CODE	REQUIRED	EXISTING
LOT AREA	205-59.C(1)	6,000 S.F.	12,500.65 S.F.
LOT WIDTH	205-59.C(1)	60 FT.	93 FT.
SETBACKS:			
FRONT	205-59.C	NO REQUIREMENT	0.5 FT. (LB BLVD)
SIDE	205-59.C(2)	3 FT.	44.2 FT./16.1 FT.
REAR	205-59.C(4)	10 FT.	15.8 FT.
COMBINED SIDE	205-12.B	27.9 FT.	60.3 FT.
BUILDING COVERAGE			
IMPERVIOUS COVERAGE (%)	205-33.B(3)(a)	75%	42.2%
IMPERVIOUS IN YARD ADJACENT TO STREET	205-33.B(3)(a)	75%	0%
SETBACK TO IMPERVIOUS SURFACES ¹	205-33.B(4)	1.5 FT.	1 FT.**
HEIGHT ²	205-10.A	34 FT.	22 FT.
PARKING			
2 - APARTMENTS < 3,000 S.F.	205-55.E(1)	3/UNIT - 6 TOTAL SPACES	
RETAIL 2 SPACES/1,000 S.F.	205-59.E(3)	4 SPACES	
TOTAL		10 SPACES	10 SPACES
CONDITIONS FOR A MIXED USE BLDG	205-59.A(1)(a)	NO RESIDENTIAL USE ON 1ST FLOOR EXCEPT ACCESS	FIRST FLOOR RESIDENTIAL EXISTS WITHIN SOUTHERLY RESIDENTIAL UNIT **
	205-59.A(1)(b)	AREA OF 2ND FLOOR RESIDENTIAL ≤ AREA OF 1ST FLOOR COMMERCIAL	1ST FLOOR COMMERCIAL (1,665 S.F.) IS GREATER THAN 2ND FLOOR RESIDENTIAL (1,550 S.F.)
	205-59.A(1)(b)	AREA OF 3RD FLOOR RESIDENTIAL ≤ AREA OF 2ND FLOOR RESIDENTIAL	NOT APPLICABLE THERE IS NOT 3RD FLOOR IN THE MIXED USE BUILDING
	205-59.A(1)(c)	# OF RESIDENTIAL PARKING SPACES TO BE ≤ # OF COMMERCIAL PARKING SPACES	6 RESIDENTIAL PARKING SPACES > 4 COMMERCIAL PARKING SPACES**

** EXISTING NON CONFORMITY

- 1 THE EIGHTEEN-INCH PERVIOUS AREA IS NOT REQUIRED FOR DRIVEWAYS WITH A MINIMUM SIX-INCH-HIGH CURBLINE ALONG THE SIDE OF A DRIVEWAY ABUTTING A PROPERTY LOT LINE.
- 2 HEIGHT OF THE BUILDING IS TAKEN FROM THE AVERAGE ELEVATION AT THE CENTER OF LONG BEACH BOULEVARD (3.4 NAVD)

NOTES:

1. A.K.A. LOTS 1 THRU 6 AND PORTION OF 10' ALLEY NORTHERLY THEREOF, BLOCK P. FILED MAP B-216, "PLAN OF SPRAY BEACH" FILED 7/14/1924.
2. FLOOD ZONE AE, BASE FLOOD ELEVATION 8 AS SHOWN ON FIRM #34029C0603F
3. BASED UPON THE OCEAN COUNTY, NJ PRELIMINARY FIRM #34029C0603G, THE PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 8. THE PROPERTY IS LOCATED WITHIN THE "COASTAL A" ZONE
4. ELEVATIONS NAVD (1988)
5. TOTAL TRACT AREA: 12,500.7 S.F. (0.29 AC.)

REVISIONS
6/14/2023 UPDATE SURVEY (DJM)
8/25/2020 PARKING PLAN (MAX)
10/28/2019 UNIT IDENTIFICATION PLAN & UPDATED SURVEY (MAG)

HORN, TYSON & YODER, INC.
CONSULTING ENGINEERS, SURVEYORS-PLANNERS
CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022
8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424
PHONE (609) 492-5050

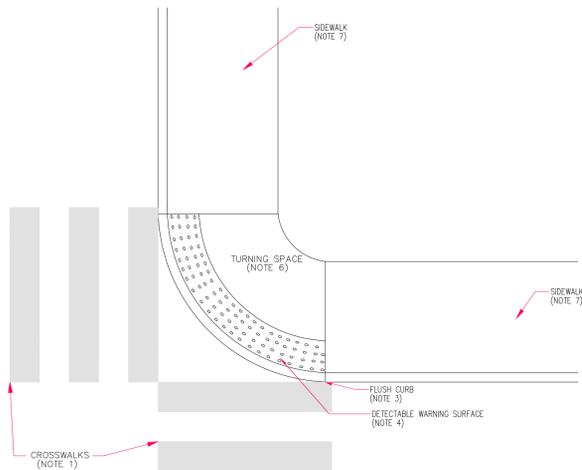
Leon J. Tyszkowski
LEON J. TYSZKOWSKI, P.L.S.
Professional Land Surveyor, N.J. License Number GS35898

EXISTING CONDITIONS SURVEY
LOT 1, BLOCK 5.27
TAX MAP SHEET # 7
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

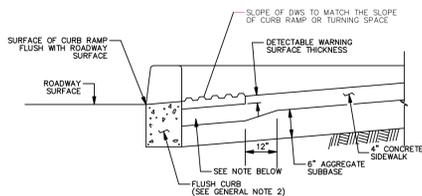
SCALE: 1" = 20'	DRAWN BY: RJT	SHEET 3 OF 4
JOB NO.: 06-166	DATE: 1/26/2016	

CURB RAMP NOTES

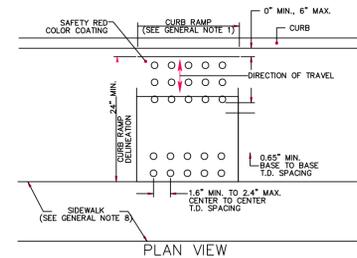
- CROSSWALKS**
 - FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES.
 - SHOULD BE PLACED A MINIMUM DISTANCE OF 4'-0" FROM STOP AND YIELD LINES.
 - FOR UN-SIGNALIZED AREAS, CROSSWALKS SHOULD BE PLACED A MINIMUM DISTANCE OF 20'-0" AWAY FROM ON ROAD PARKING ZONES. FOR SIGNALIZED AREAS, CROSSWALKS SHOULD BE PLACED A MINIMUM DISTANCE OF 30'-0" FROM ON ROAD PARKING ZONES.
 - PEDESTRIAN CROSSWALK IS 6'-0" MINIMUM MEASURED FROM INSIDE THE PAINTED EDGE TO INSIDE PAINTED EDGE AND THE INSIDE LINES MUST BE OUTSIDE THE PROJECTED CURB LINES.
 - AVOID USING THE PARALLEL LINE CROSSWALK DESIGN. INSTEAD USE THE LONGITUDINAL LINES AT 6'-0" LONG AND 1'-2" WIDE WITH A SPACING OF 1'-2" APART. SPACING SHOULD BE DESIGNED SO THE PAINTED AREAS AVOID THE WHEEL PATHS.
- CURB RAMPS**
 - CONSTRUCT CURB RAMPS WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
 - SLOPES THAT EXCEED 8.00%, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
 - PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
 - TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 15'-0". ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
 - FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE.
 - FOR NEW CONSTRUCTION, ATTEMPT TO KEEP THE CROSS SLOPE AS FLAT AS POSSIBLE. DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE (MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL).
 - CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE. CURB RAMP WIDTH IS 4'-0" MINIMUM.
 - AVOID CURB RAMP DESIGNS WHERE THE WIDTH OF THE CROSSWALK WILL NEED TO BE GREATER THAN 10'-0" WIDE.
 - ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 6" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 6'-0" FOR A 12:1 SLOPE).
 - THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A CURB RAMP, TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 8.00% AND IT IS NOT NECESSARY TO HAVE THE LENGTH GREATER THAN 15'-0".
 - FOR BLENDED TRANSITION CURB RAMPS (TYPE 3), THE MAXIMUM RUNNING SLOPE IS 5% WITH A MAXIMUM 2% CROSS SLOPE. BLENDED TRANSITION CURB RAMPS REQUIRE THE OCEAN COUNTY ENGINEER'S APPROVAL.
- FLUSH CURB**
 - CONSTRUCT TOP OF PLAN CEMENT CONCRETE FLUSH CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
 - CONSTRUCT FLUSH CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL TURNING SPACES BEHIND FLUSH CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, TURNING SPACES, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAXIMUM).
 - FOR TYPE 3 RAMPS AND BLENDED TRANSITIONS, THE FLUSH CURB MUST EXTEND FROM THE OUTER MOST EDGE OF EACH CROSSWALK.
- DETECTABLE WARNING SURFACES**
 - NO SEPARATION BETWEEN DETECTABLE WARNING SURFACES FOR MEDIANS LESS THAN 4'-0" BETWEEN BACK OF CURBS.
 - PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
 - ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB WHEN APPROPRIATE.
 - THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACES (SHADED AREA) SHALL BE SAFETY RED COLOR, EXCEPT IF THE MUNICIPALITIES HAVE ESTABLISHED AN ALTERNATIVE COLOR SCHEME.
 - FOR TYPE 3 RAMPS AND BLENDED TRANSITIONS, THE DETECTABLE WARNING SURFACE MUST BE PLACED ALONG THE ENTIRE FLUSH CURB AND THE DOMES MUST BE PLACED IN SUCH A WAY THAT THE DIRECTION OF TRAVEL IS ORIENTED INTO THE CROSSWALK.
- JOINTS**
 - PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
 - SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- TURNING SPACES**
 - TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS, UNLESS AN EXCEPTION IS GRANTED.
 - DO NOT EXCEED 2.00% SLOPE IN ANY DIRECTION.
 - TURNING SPACE SHOULD BE 4'-0" X 4'-0" MINIMUM CLEAR SPACE. IF THE TURNING SPACE IS CONSTRAINED 2 OR MORE SIDES, IT MUST BE 4'x5' WITH THE 5' LENGTH ALONG THE UNOBSTRUCTED SIDE. FOR TYPE 3 RAMPS AND BLENDED TRANSITIONS, THE TURNING SPACE MUST HAVE A MINIMUM OF A 5'-0" DEPTH (INCLUDING THE DETECTABLE WARNING SURFACE) ALONG THE FLUSH CURB/ROADWAY.
 - OCEAN COUNTY ENGINEERING DEPARTMENT APPROVAL REQUIRED IF TURNING SPACE FOR TURNING MANUEVER IS NOT ON THE SIDEWALK, I.E. IF THE TURNING SPACE "CLEAR SPACE" IS IN THE ROADWAY.
 - 4'x4' TURNING SPACES ARE REQUIRED AT EVERY ACCESSIBLE PEDESTRIAN SIGNAL/PUSHBUTTON LOCATION.
 - TURNING SPACES SHALL BE CONSTRUCTED AT THE TOP OF EVERY PERPENDICULAR RAMP AND AT THE BOTTOM OF EVERY PARALLEL RAMP.
- SIDEWALKS**
 - NOTES THE AREA CONSIDERED TO BE THE "PEDESTRIAN ACCESSIBLE ROUTE"
 - THE MAXIMUM SIDEWALK CROSS SLOPE IS 2.00% (MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE MAXIMUM GRADE IS 5.00%. FOR SIDEWALKS ALONG STREETS; HOWEVER, THE LONGITUDINAL GRADE OF THE SIDEWALK SHOULD BE CONSISTENT WITH THE GRADE OF THE ADJACENT ROADWAY. IF THE 5.00% GRADE IS NOT FEASIBLE DUE TO TOPOGRAPHY AND OTHER PHYSICAL CONSTRAINTS, THE LOWEST PRACTICAL GRADE GREATER THAN 5.00% SHOULD BE USED.
 - SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
- MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS OR MORE THAN THE STANDARD 6" HEIGHT.
- CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
- ALL HANDICAP RAMPS CONSTRUCTED IN THIS CONTRACT SHALL MEET ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES.
- THE CONTRACTOR IS REQUIRED TO CONTACT THE OCEAN COUNTY ENGINEERING TRAFFIC DEPARTMENT ABOUT THE CONSTRUCTION OF ALL HANDICAP CURB RAMPS AT SIGNALIZED INTERSECTIONS AND VERIFY THE STRIPING PLAN IS IN ACCORDANCE WITH THE MOST RECENT NO. PASSING ZONE PLAN.
- GRADE BREAKS**
 - GRADE BREAKS AT THE TOP AND BOTTOM OF THE CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
 - GRADE BREAKS ARE NOT PERMITTED ON THE SURFACE OF RAMP RUNS OR TURNING SPACES.
 - SURFACE SLOPES THAT MEET AT THE GRADE BREAKS SHALL BE FLUSH.
 - FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE.
 - ALL VERTICAL SURFACE DISCONTINUITIES SHALL NOT EXCEED 3/8" IN HEIGHT. ANY VERTICAL SURFACE DISCONTINUITY BETWEEN 1/2" AND 3/8" SHALL BE BEVELED AT A SLOPE NO GREATER THAN 50% ACROSS THE ENTIRE DISCONTINUITY.
 - HORIZONTAL OPENINGS IN GRATES AND JOINTS SHALL NOT EXCEED 3/4" IN DIAMETER AND THE GRATES SHALL BE PLACED SO THE LONG DIMENSION IS PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 - THE CROSS SLOPE FOR CURB RAMPS, BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 2% MAXIMUM. AT PEDESTRIAN STREET CROSSINGS WITHOUT YIELD OR STOP CONTROL, THE CROSS SLOPE SHALL BE PERMITTED TO MATCH THE STREET GRADE. PEDESTRIAN STREET CROSSINGS WITHOUT YIELD OR STOP CONTROL ARE CROSSINGS WHERE THERE IS NO YIELD OR STOP SIGN, OR WHERE THERE IS A TRAFFIC SIGNAL THAT IS DESIGNED FOR THE GREEN PHASE.



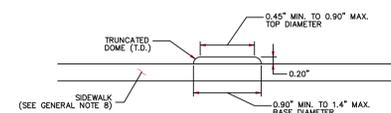
CURB RAMP DETAIL - (TYPE 3K) NTS



DETECTABLE WARNING SURFACE EMBEDDING DETAIL



PLAN VIEW



ELEVATION

DETECTABLE WARNING SURFACE TRUNCATED DOME DETAILS

DETECTABLE WARNING SURFACE (DWS) INSTALLATION INSTRUCTIONS

- Saw cut existing curb ramp surface where the DWS will be placed.
- Remove existing concrete from this area.
- Replace and compact any disturbed aggregate subbase.
- Place new cement concrete and level to a 4 inch depth so that the top of the concrete is lower than the adjoining sidewalk, equivalent to the embedding depth of the DWS material.
- Lay out and properly fit each unit prior to setting in wet concrete.
- Cut units as necessary along perimeter of detectable warning surface.
- Place units across the entire width of the curb ramp surface and/or where the curb is flush.
- Press units into full contact with the fresh concrete.
- Adjust height of each unit edge to be level with adjacent ramp surfaces.
- Only truncated domes should be above the adjacent finished concrete.
- Fill any saw cut gaps with approved joint sealant material.

DWS Notes:

- The details provided are not drawn to scale. The quantity of domes depicted on the detectable warning unit (the domes and the entire 24" level surface) is for illustration only.

Detectable Warning Unit Dimensions:

- The size of the detectable warning field shall be 24" in the direction of travel and shall extend the full width of the curb, ramp or flush surface. Excludes side flares.

Dome Alignment:

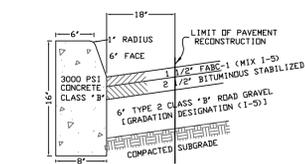
- The rows of domes shall be aligned to be perpendicular or radial to the grade break between the ramp turning space or curb ramp and the street.
- Where domes are arrayed radially they may differ in dome diameter and center-to-center spacing within the ranges specified on this sheet.

Color Requirements:

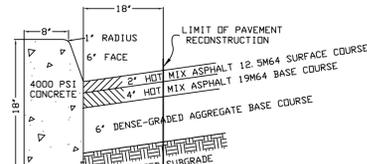
- The detectable warning field shall be the color "safety red" unless noted otherwise in the contract documents and must meet the requirements of the standard specifications.

Detectable Warnings Locations:

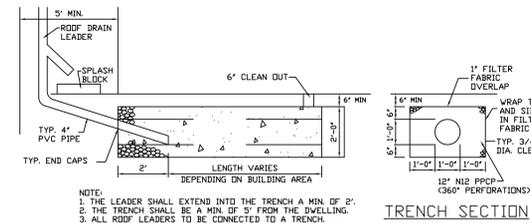
- Detectable warnings shall be located so that the edge or corner of the warning field nearest to the roadway is 5' to 9' from the front of the curb or the roadway edge (12" where traversable curb is used).
- The edge of the detectable warning field nearest to a railroad crossing shall be 6'-0" minimum and 15'-0" maximum from the centerline of the railroad.



LONG BEACH TOWNSHIP CURB & PAVEMENT RESTORATION DETAIL



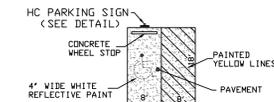
COUNTY CURB & PAVEMENT RESTORATION DETAIL



- NOTE:**
- THE LEADER SHALL EXTEND INTO THE TRENCH A MIN. OF 8".
 - THE TRENCH SHALL BE A MIN. OF 5' FROM THE BUILDING.
 - ALL ROOF LEADERS TO BE CONNECTED TO A TRENCH.
 - 1 LINEAR FOOT OF RECHARGE TRENCH IS TO BE PROVIDED FOR EVERY 100 SF. OF BUILDING AREA.

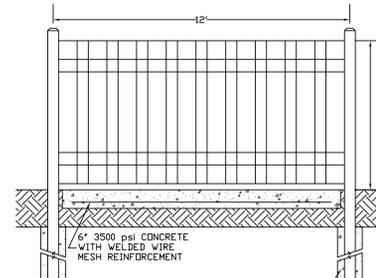
SUBSURFACE INFILTRATION SYSTEM

NTS.

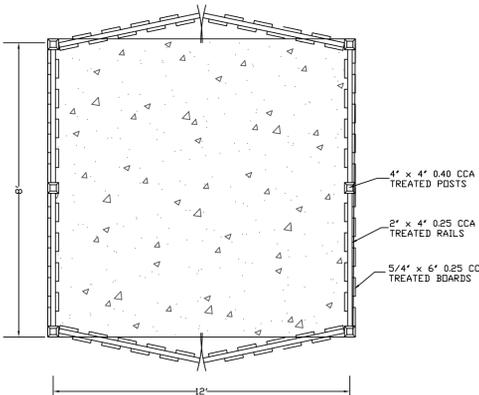


VAN ACCESSIBLE PARKING DETAIL

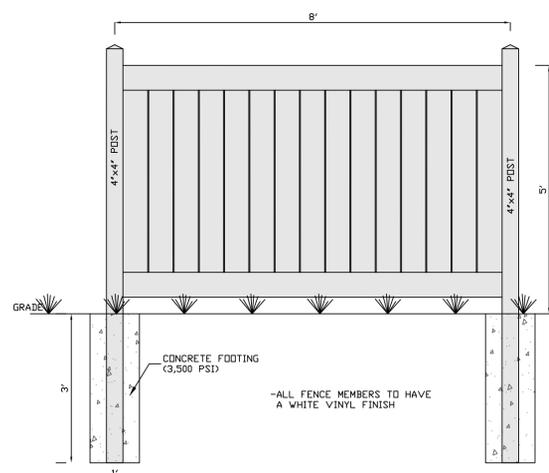
NTS.



- NOTE:**
- ALL FASTENERS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

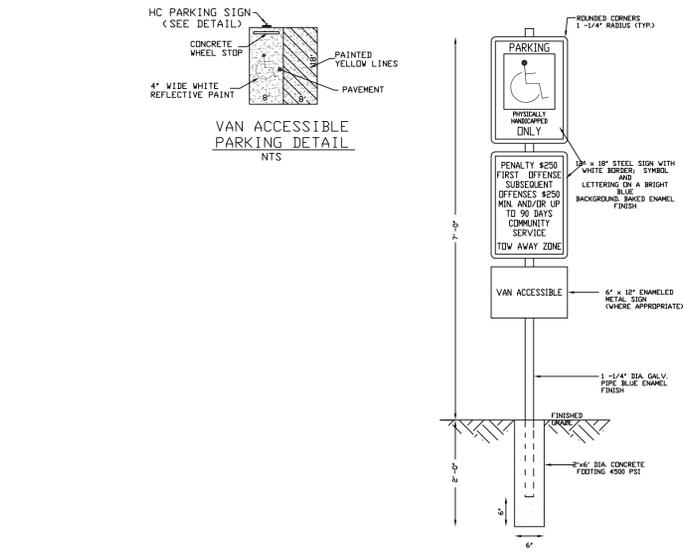


4' HIGH 8' x 12' BOARD ON BOARD TRASH ENCLOSURE



5' TALL SOLID VINYL FENCE

NTS.



HANDICAP SIGN

(NO SCALE)



ON SITE PARKING LOT DETAIL

NOT TO SCALE

REVISIONS

HORN, TYSON & YODER, INC.
CONSULTING ENGINEERS, SURVEYORS-PLANNERS
CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022
8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424
PHONE (609) 492-5050

James D. Brzozowski
JAMES D. BRZOZOWSKI, P.E., P.P.
Professional Engineer, N.J. License Number: GE44223
Professional Planner, N.J. License Number: 33L00696400

SITE PLAN - DETAILS
LOT 1, BLOCK 5.27
TAX MAP SHEET # 7
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

SCALE: AS SHOWN	DRAWN BY: JDB	SHEET 4
JOB NO.: 06-166	DATE: 1/23/2026	OF 4