

LEGEND  
 O = IRON PIN FOUND  
 POB = POINT OF BEGINNING  
 C = CENTERLINE  
 E/P = EDGE OF PAVEMENT  
 6.02 = SPOT ELEVATION  
 Ø = UTILITY POLE

OTHER TRACT IMPROVEMENTS  
 & UNITS NOT SHOWN

ASPHALT

MANHOLE  
 EL. 4.5

N 51°53'00" W 645.25'

WEST 31ST STREET (50')



ZONING SCHEDULE MC MARINE COMMERCIAL ZONE				
	CODE	REQUIRED	EXISTING	PROPOSED
LOT AREA	205-61B(1)	20,000 S.F.	28,725 S.F. (UPLAND LOT 1)	No Change
LOT WIDTH	205-61B(2)	75 FT.	155 FT (UPLAND LOT 1)	No Change
SETBACKS:				
FRONT	205-61B(3)	20 FT.	20.8 FT. (BAY FRONT)	No Change
REAR	205-61B(4)	10 FT.	49.5 FT.†	18.1 FT.
SIDE	205-61B(4)	10 FT.	8.3 FT.** TO S. WEST 31st STREET 8.3 FT.** TO S. WEST 32nd STREET	5.1 FT* No Change
BETWEEN BUILDINGS	205-12C(2)	15 FT.	>>15 FT.	34.1 FT
HEIGHT	205-61H	34 FT.		15.8 FT. PROPOSED BATHROOM
BUILDING COVERAGE(%)	205-61B(5)	33.3%	27.8%†	29.1%
IMPERVIOUS COVERAGE	205-33B(3)(c)	75%	82%**	No Change
MARINA PARKING	205-61.C(1)	28 SPACES	24 SPACES **	21 SPACES*
56 SLIPS @ 1 SPACE/2 SLIPS				

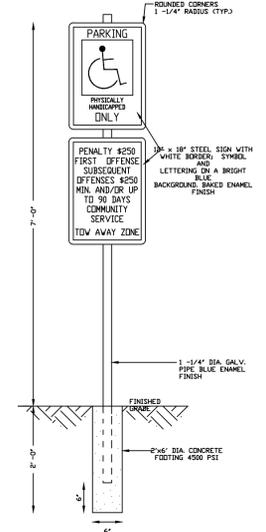
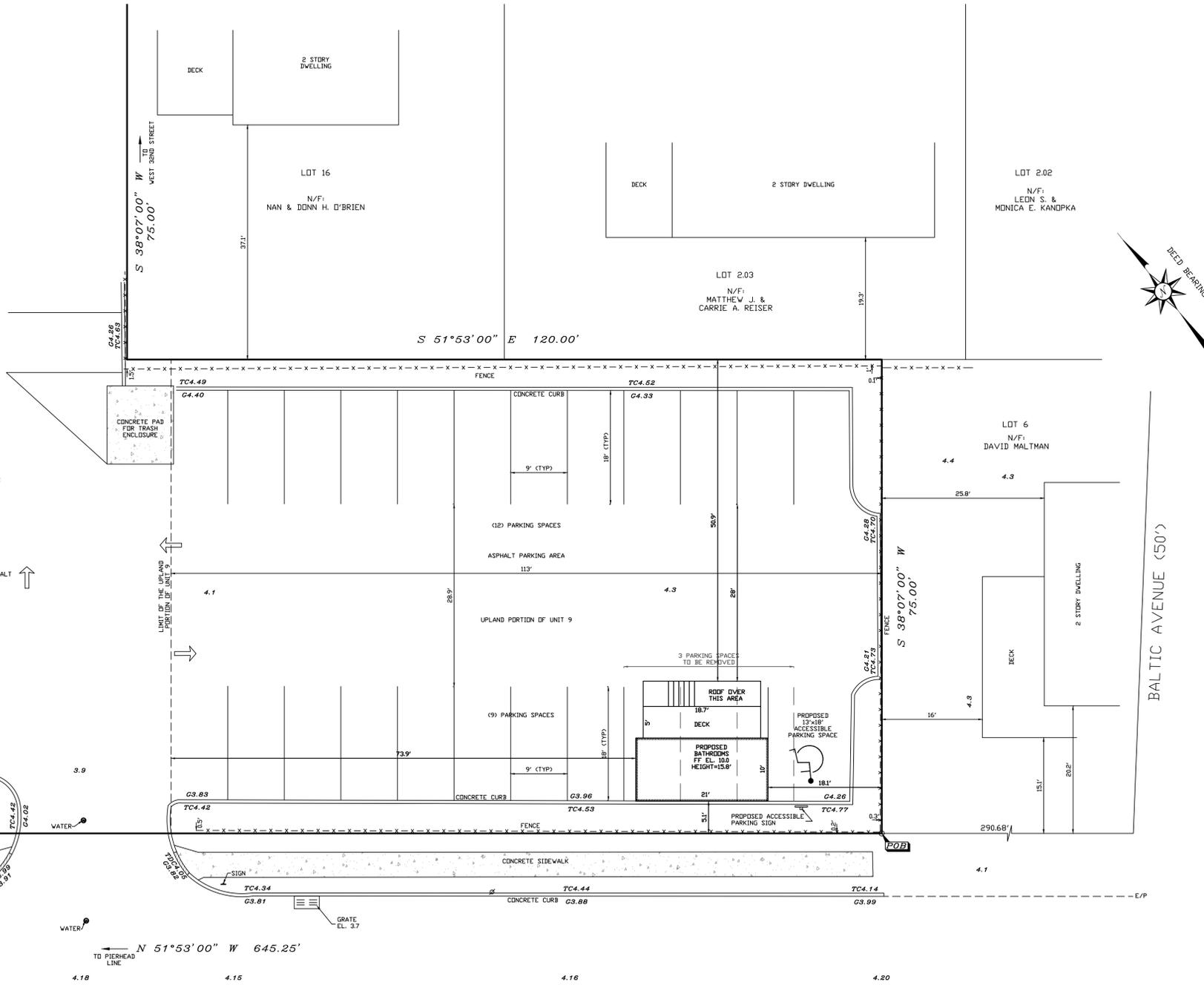
\*\* EXISTING NON CONFORMITY  
 † VARIANCE REQUESTED  
 ‡ AS DETERMINED FROM A SURVEY PREPARED BY FRD SURVEYING, LLC DATED 1/31/2024 TITLED "SURVEY OF PROPERTY LOTS 1 AND 1.01 BLOCK 6.25 - UNIT 9 SITUATED IN TOWNSHIP OF LONG BEACH OCEAN COUNTY, NEW JERSEY"

APPROVED BY THE LONG BEACH TOWNSHIP  
 LAND USE BOARD

CHAIRMAN

SECRETARY

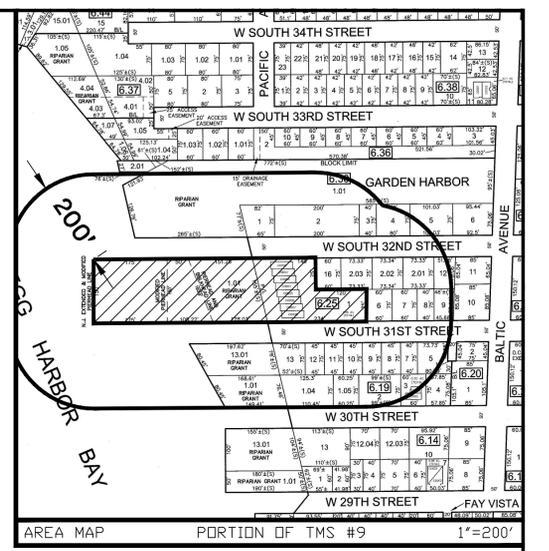
ENGINEER



ACCESSIBLE PARKING SIGN  
 (N/D SCALE)

NOTES:

- AKA. LOTS 1-14 AND LOT 25 IN BLOCK E, & THE RIPARIAN GRANT WESTERLY THEREOF, FILED MAP MC-289, FILED 7/23/1930, "BEACH HAVEN BAY VISTA"
- DEED REFERENCE: BOOK 4334, PAGE 653
- FLOOD ZONE AE, BASE FLOOD ELEVATION 9, AS SHOWN ON FIRM #34029C0603F
- BASED UPON THE OCEAN COUNTY PRELIMINARY FIRM #34029C0603G, THE PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 8, THE PROPERTY IS PARTIALLY LOCATED IN THE "COASTAL A" ZONE
- ELEVATIONS NAVD (1988)
- TOPOGRAPHY AND SURVEY INFORMATION FOR THE UPLAND PORTION OF UNIT 9 IS AS SHOWN ON A PLAN PREPARED BY HORN, TYSON & YODER, INC., SIGNED BY LEDN J. TYSZKA, PLS GS35888 TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF THE UPLAND PORTION OF UNIT 9 LOTS 1 & 1.01, BLOCK 6.25, TAX MAP SHEET # 9, LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY, DATED 3/17/2025"
- A SURVEY, PREPARED BY FRD SURVEYING, LLC DATED 1/31/2024 TITLED "SURVEY OF PROPERTY LOTS 1 AND 1.01 BLOCK 6.25 - UNIT 9 SITUATED IN TOWNSHIP OF LONG BEACH OCEAN COUNTY, NEW JERSEY" WAS UTILIZED TO DETERMINE THE SETBACKS OF THE EXISTING MULTIFAMILY BUILDING AS WELL AS EXISTING BUILDING AND IMPERVIOUS COVERAGE.
- THE UPLAND PORTION OF THE PROPERTY (LOT 1) IS DEVELOPED WITH AN 8 UNIT MULTIFAMILY BUILDING (UNITS 1-8) AND A PARKING LOT FOR THE MARINA USE (UNIT 9). THE RIPARIAN PORTION OF THE PROPERTY (LOT 1.01) IS DEVELOPED WITH DOCKS TO SUPPORT THE MARINA (UNIT 9) KNOWN AS ESCAPE HARBOR MARINA, A 56 SLIP MARINA. IN ADDITION TO THE 56 SLIPS WITHIN THE MARINA, EACH OF THE 8 RESIDENTIAL UNITS HAS A SLIP WITHIN LOT 1.01.
- THE LOCATION SIZE AND TYPE OF MATERIAL OF UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE NOT GUARANTEED, BUT ARE BASED UPON THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND TYPE OF MATERIAL OF ALL UNDERGROUND UTILITIES THROUGH MARK-OUTS DONE BY THE OWNER OF THE UTILITY AND IF NECESSARY BY TEST PIT AND ADVISE THE ENGINEER OF ANY CONFLICTS SO THAT APPROPRIATE REVISIONS CAN BE MADE TO THE PLANS TO CARRY OUT THE DESIGN. ALL AT NO COST TO THE ENGINEER
- EXISTING CURB AND SIDEWALK SHALL BE REMOVED AND REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH CURRENT DESIGN STANDARDS AS DIRECTED BY THE TOWNSHIP ENGINEER



REVISIONS  
 01/14/2026 REDUCE THE SIZE OF THE PROPOSED BATHROOM PER ARCHITECT

**HORN, TYSON & YODER, INC.**  
 CONSULTING ENGINEERS, SURVEYORS-PLANNERS  
 CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022  
 8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424  
 PHONE (609) 492-5050

SITE PLAN  
 LOTS 1 & 1.01, BLOCK 6.25  
 QUALIFIER C0009  
 TAX MAP SHEET # 9  
 LONG BEACH TOWNSHIP  
 OCEAN COUNTY, NEW JERSEY

*James D. Brzozowski*  
**JAMES D. BRZOZOWSKI, P.E., P.P.**  
 Professional Engineer, N.J. License Number: GE44283  
 Professional Planner, N.J. License Number: 38L00064400

OWNER/APPLICANT  
 ANDREW BIELECKI  
 21 RYERSIN ROAD  
 FLEMINGTON, NJ 08822

SCALE: 1" = 10'  
 DRAWN BY: AMC  
 SHEET 1 OF 1  
 JOB NO.: 82-202 DATE: 6/11/2025