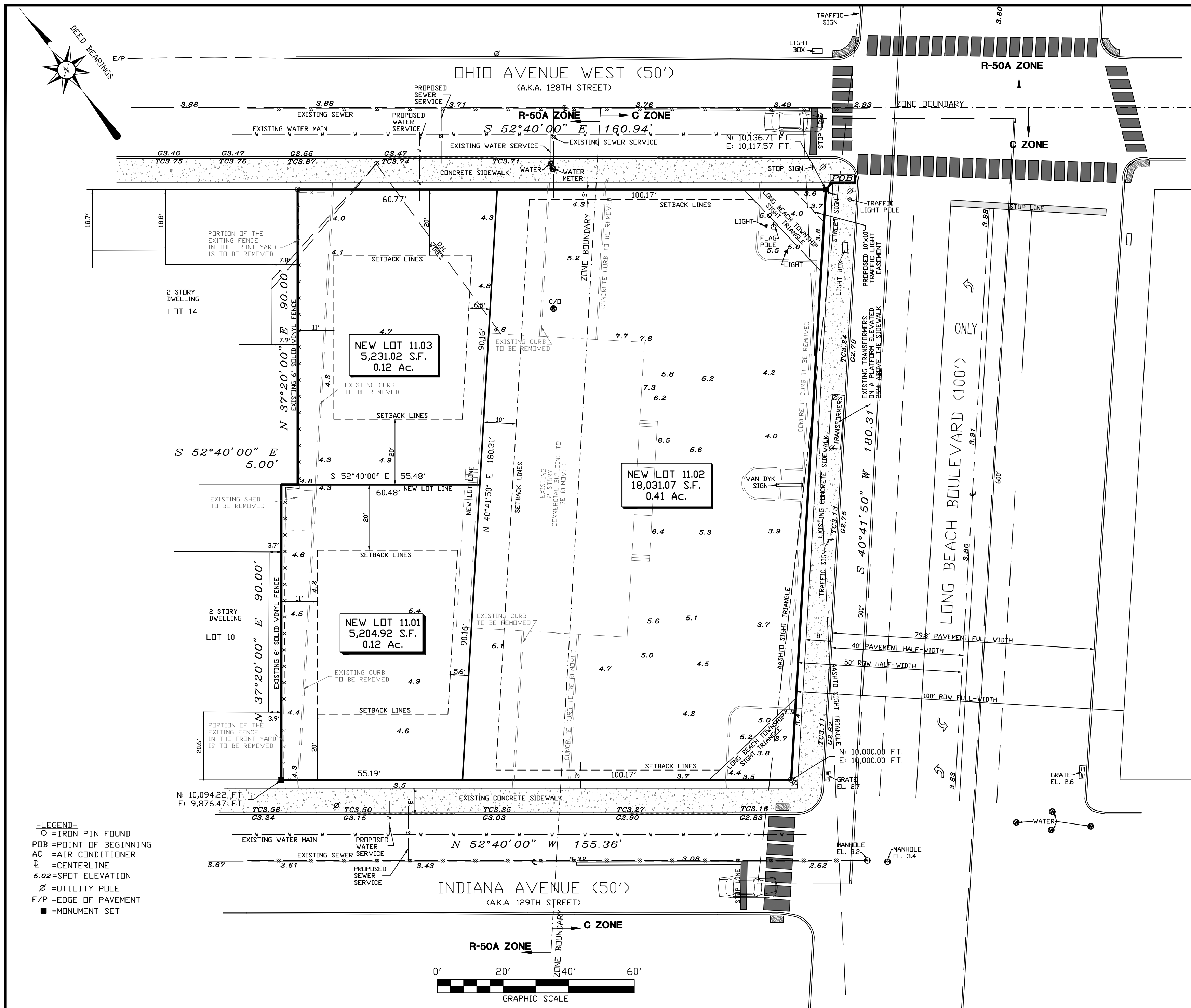




I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 11/13/2024 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, WITH OUTBOUND CORNERS MARKED, AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF THE TITLE RECORDATION ACT AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

LEON J. TYSZKA, P.L.S. G335888

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF I FIND IT CONFORMS WITH THE PROVISIONS OF THE "TITLE RECORDATION ACT", RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER

I HEREBY CERTIFY THAT WE ARE THE RECORD HOLDERS OF TITLE TO THE LANDS DELINEATED ON THIS MAP AND APPROVE THE FILING THEREOF.

SWORN AND SUBSCRIBED TO ME THIS
DAY OF

NOTARY PUBLIC OF NEW JERSEY.

MY COMMISSION EXPIRES

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED BY THE LONG BEACH TOWNSHIP LAND USE BOARD FOR FILING IN THE OCEAN COUNTY CLERKS OFFICE PROVIDED THAT THIS MAP IS FILED ON/DR BEFORE THE DAY OF

MUNICIPAL CLERK/MUNICIPAL LAND USE CLERK

APPROVED BY THE
LONG BEACH TOWNSHIP LAND USE BOARD

CHAIRMAN

SECRETARY

ENGINEER

ZONING SCHEDULE R-50A SINGLE-FAMILY RESIDENTIAL ZONE				
	CODE	REQUIRED	NEW LOT 11.01	NEW LOT 11.02
LOT AREA	205-56C.(2)(a)	4,500 S.F.	5,204.92 S.F.	5,231.02 S.F.
LOT WIDTH	205-56C.(1)	50 FT.	55.19 FT.	60.77 FT.
LOT DEPTH	205-56C.(2)(a)	90 FT.	90 FT.	90 FT.
SETBACKS: FRONT SIDE COMBINED SIDE	205-56C.(3) 205-56C.(4) 205-12.B	20 FT. 4 FT./9 FT. 16.6 FT. (LOT 11.01) 17.5 FT. (LOT 11.03)		
REAR BETWEEN BUILDINGS	205-56C.(5)(c) 205-56C.(4)	20 FT. 15 FT.		
ACCESSORY SETBACKS SIDE REAR	205-56C.(6) 205-56C.(6)	4 FT. 4 FT.		
BUILDING COVERAGE(%) IMPERVIOUS COVERAGE: TOTAL FRONT YARD	205-56C.(7) 205-33B.(3)(a) 205-33B.(3)(a)	33.3% 75% 75%		
PARKING (HABITABLE SPACE)	205-56E (205-51D)	3 SPACES		
DRIVEWAY OPENING	172-20A.(1)	27 LF		
HEIGHT	205-10A.	34 FT.		

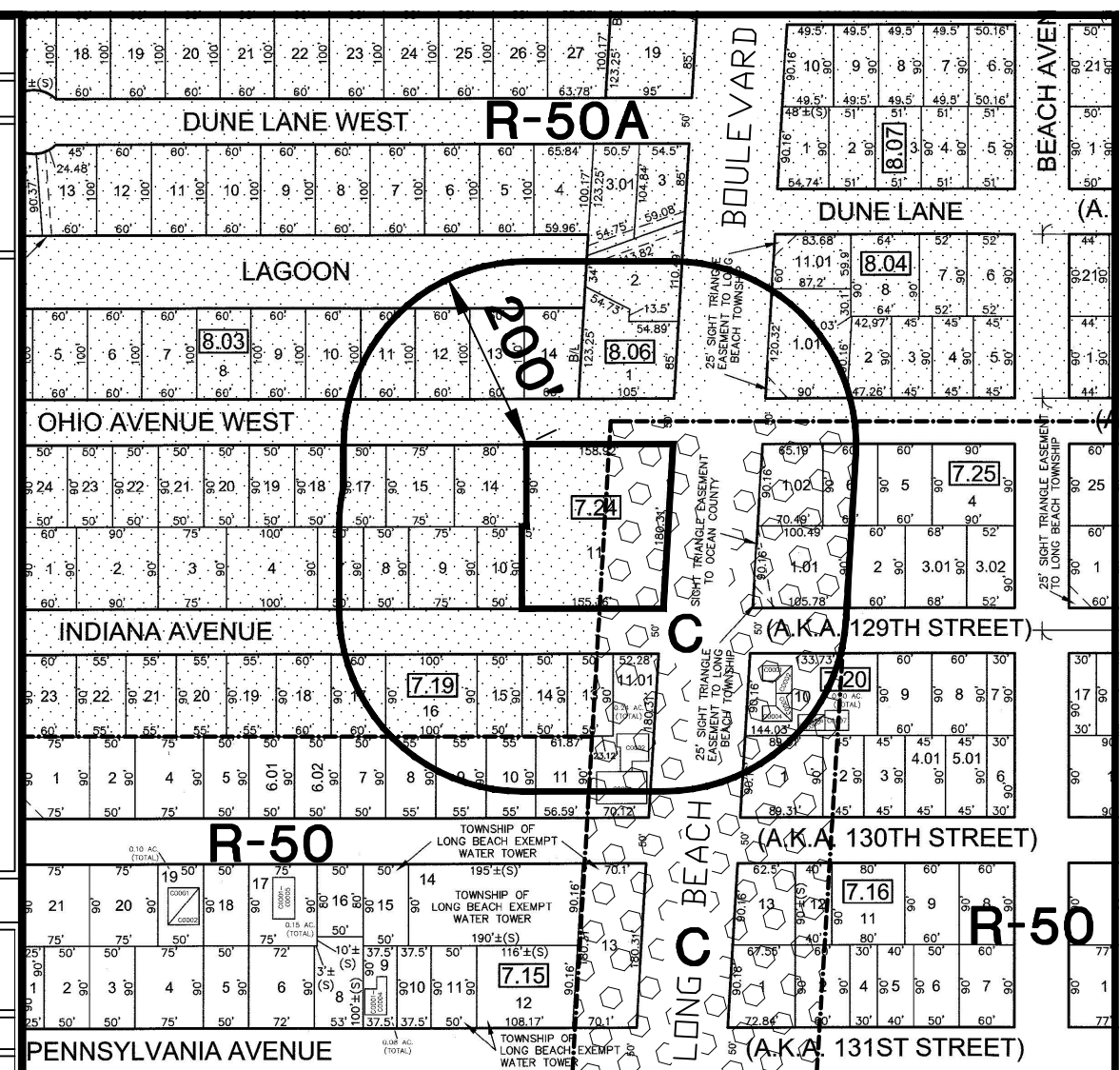
PROPOSED SINGLE
FAMILY HOMES
TO COMPLY WITH
ZONING REQUIREMENTS

ZONING SCHEDULE C- GENERAL COMMERCIAL ZONE			
	CODE	REQUIRED	NEW LOT 11.02
LOT AREA LOT WIDTH	205-59C(1) 205-59C(1)	6,000 S.F. 60 FT.	18,031.07 S.F. 100 FT.
SETBACKS: FRONT SIDE REAR	205-59C 205-59C(2) 205-59C(4)	NO REQUIREMENT 3 FT. 10 FT.	
IMPERVIOUS COVERAGE: TOTAL	205-33B.(3)(a)	75%	
SETBACK TO IMPERVIOUS SURFACES ¹	205-33B.(4)	1.5 FT.	
HEIGHT	205-10A	34 FT.	

¹ THE EIGHTEEN-INCH PERVIOUS AREA IS NOT REQUIRED FOR DRIVEWAYS WITH A MINIMUM SIX-INCH-HIGH CURBLINE ALONG THE SIDE OF A DRIVEWAY ABUTTING A PROPERTY LOT LINE.

NOTES:

- DEED REFERENCE:
BOOK 15001, PAGE 1805
- A.K.A. LOTS 73, 74, 75, 98, 99, THE EASTERLY 20' OF LOT 100 AND THE PORTION OF BALTIMORE AVENUE AND THE RIGHT-OF-WAY OF THE PENNSYLVANIA RAILROAD LYING EASTERLY THEREOF, SECTION C, TRACT No. 2, FILED MAP 88-160, FILED 2/14/1914, "PLAN OF LOTS MADE FOR THE FIDELITY LAND CO. INC. SITUATE AT BEACH HAVEN TERRACE OCEAN COUNTY NEW JERSEY"
- FLOOD ZONE AE, BASE FLOOD ELEVATION 9, AS SHOWN ON FIRM #34029C0603F
- BASED UPON THE OCEAN COUNTY PRELIMINARY FIRM #34029C0603G, THE PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 9, THE PROPERTY IS LOCATED OUTSIDE OF THE "COASTAL A" ZONE
- ELEVATIONS NAVD (1988)
- TOTAL TRACT AREA: 28,467.01 S.F. (0.65 AC)
- ASSUMED HORIZONTAL COORDINATE BASE.
- ERROR OF CLOSURE NOT MORE THAN 1 PART IN 10,000
- EXISTING CURB AND SIDEWALK SHALL BE REMOVED AND REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH CURRENT DESIGN STANDARDS AS DIRECTED BY THE BOROUGH ENGINEER.
- ALIGNMENT AND GRADE FOR CURB AND ROAD IMPROVEMENTS ALONG LONG BEACH BOULEVARD SHALL BE ESTABLISHED BY THE DEVELOPER'S ENGINEER AS APPROVED BY THE OCEAN COUNTY ENGINEER. STAKEDOUT OF ALL CURB AND ROAD IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE EXECUTED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR. CURB AS-BUILTS SHALL BE SUBMITTED TO THE OCEAN COUNTY ENGINEER PRIOR TO ANY PAVING OPERATIONS. FINAL AS-BUILT INFORMATION SHALL BE SUPPLIED ON A REPRODUCIBLE MEDIUM, WILL INCLUDE TOP AND BOTTOM OF CURB, CENTERLINE AND QUARTER CROWN GRADES, MONUMENTS WHERE APPLICABLE, SHALL BE SIGNED AND SEALED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR AND ACCOMPANIED BY A MONUMENT CERTIFICATION WHERE APPLICABLE.
- THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT FOR ALL ROAD IMPROVEMENTS ALONG LONG BEACH BOULEVARD PRIOR TO THE RELEASE OF ANY BOND OR OTHER FINANCIAL SURETY POSTED WITH THE MUNICIPALITY FOR THE COMPLETION OF SAID IMPROVEMENTS.
- THE DEVELOPER IS REQUIRED TO OBTAIN A PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHT-OF-WAY OF LONG BEACH BOULEVARD.



REVISIONS

12/10/2025 3 LOT MINOR SUBDIVISION
2/24/2025 UPDATE OWNER/APPLICANT NAME (GAK)

HORN, TYSON & YODER, INC.
CONSULTING ENGINEERS, SURVEYORS-PLANNERS
CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022
8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424
PHONE (609) 492-5050

LEON J. TYSZKA, P.L.S.
Professional Land Surveyor, N.J. License Number G335888

MINOR SUBDIVISION
LOT 11, BLOCK 7.24
TAX MAP SHEET # 10
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

SCALE: 1" = 20'

DRAWN BY: JDB

JDB NO. 24-086

DATE: 11/12/2024

SD-1

OWNER/APPLICANT
DAVID L. WYRSCH AND JANET A. WYRSCH
500 BARNEGAT BLVD, STE. 300
BARNEGAT, NJ 08005