

STATISTICAL DATA

OWNER / APPLICANT: KEN & JENNIFER POSSENRIEDE

LOCATION: LOT 5 BLOCK 20.151
LOVELADIES, NJ 08006

FLOOD ZONE / BASE FLOOD ELEVATION: AE 8.0' + 1
ZONE: R10

LOT AREA:	REQUIRED 10,000 sq.ft.	EXISTING 10,080 SQ FT	PROPOSED 10,080 SQ FT
SETBACKS:			
FRONTYARD:	25'	**24.7'	EX.
SIDEYARDS:	10' MIN./30' TOTAL	10.3' & *19.7' 30.0' TOTAL	EX.
REARYARD:	25'	**24.6'	EX.
BETWEEN ADJ. HOUSES	30'	39.7/30.6'	EX.
LOT COVERAGE: 2,520 sq.ft. MAX			
PERCENTAGE:	25% MAX	**27.7%	**26.8%

LIVING AREA:	
HEATED FLOOR AREA:	3,920.37sq.ft.
VOLUME:	31,360.52cu.ft.
BUILDING HEIGHT:	34'-0" 30.6' *37.3' ELEV. TOWER
NUMBER OF STORIES:	(2) TWO

ELEVATION:	
TOP OF SLAB:	ELEV. + 11.2'
FIRST FLOOR:	ELEV. + 20.5'
ROOF PEAK:	EX. ELEV. + 41.3' *PROP. ELEV. TOWER + 48.0'
PLUMBING FIXTURES:	22
HVAC:	(3) ZONE GAS FORCED HOT AIR
WATER HEATER:	(1) GAS TANKLESS
WATER / SEWER:	MUNICIPAL

** EXISTING NON-CONFORMITY
* VARIANCE REQUESTED

GENERAL NOTES

CODE: INTERNATIONAL RESIDENTIAL CODE
2021, NEW JERSEY EDITION
USE GROUP: R-5

CONSTRUCTION CLASSIFICATION:
5B - 0 HOUR FIRE RATING
1 HOUR FIRE RATED CEILING : N/A
1 HOUR FIRE RATED WALL : N/A

LOADING:
CEILING JOIST: 15 LB./SQ.FT. TOTAL LOAD
ROOF: 35 LB./SQ.FT. TOTAL LOAD
BEDROOM: 40 LB./SQ.FT. TOTAL LOAD
LIVING AREA: 50 LB./SQ.FT. TOTAL LOAD
DECK: 60 LB./SQ.FT. TOTAL LOAD
GUARDRAIL: 200 LB./SQ.FT. TOTAL LOAD
SNOW LOAD: 20 LB. SQ. FT. TOTAL LOAD

WIND SPEED: 120 MPH

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS:
IRC 2021 NJ EDITION TABLE R301.6

ALL METAL HARDWARE TO BE **"Z-MAX" G185** GALVANIZED
SIMPSON STRONG-TIE UNLESS NOTED OTHERWISE

ALL HURRICANE CLIPS AT RAFTERS TO BE SIMPSON
STRONG-TIE **H-10S** AT CATHEDRAL CEILINGS AND/OR **LGT2**
AT FLAT CEILING JOISTS. ONE PER MEMBER MINIMUM

FASTENING SCHEDULE - IRC 2015 NJ ED. TABLE R602.3(1)
RAFTERS TO RIDGE: (4) 16d DEFORMED NAILS EACH
WALL SHEATHING: 6d COMMON NAILS @ 6" O.C.
ROOF SHEATHING: 8d COMMON NAILS @ 6" O.C. (4"
O.C. FROM 4'-0" TO CORNERS)

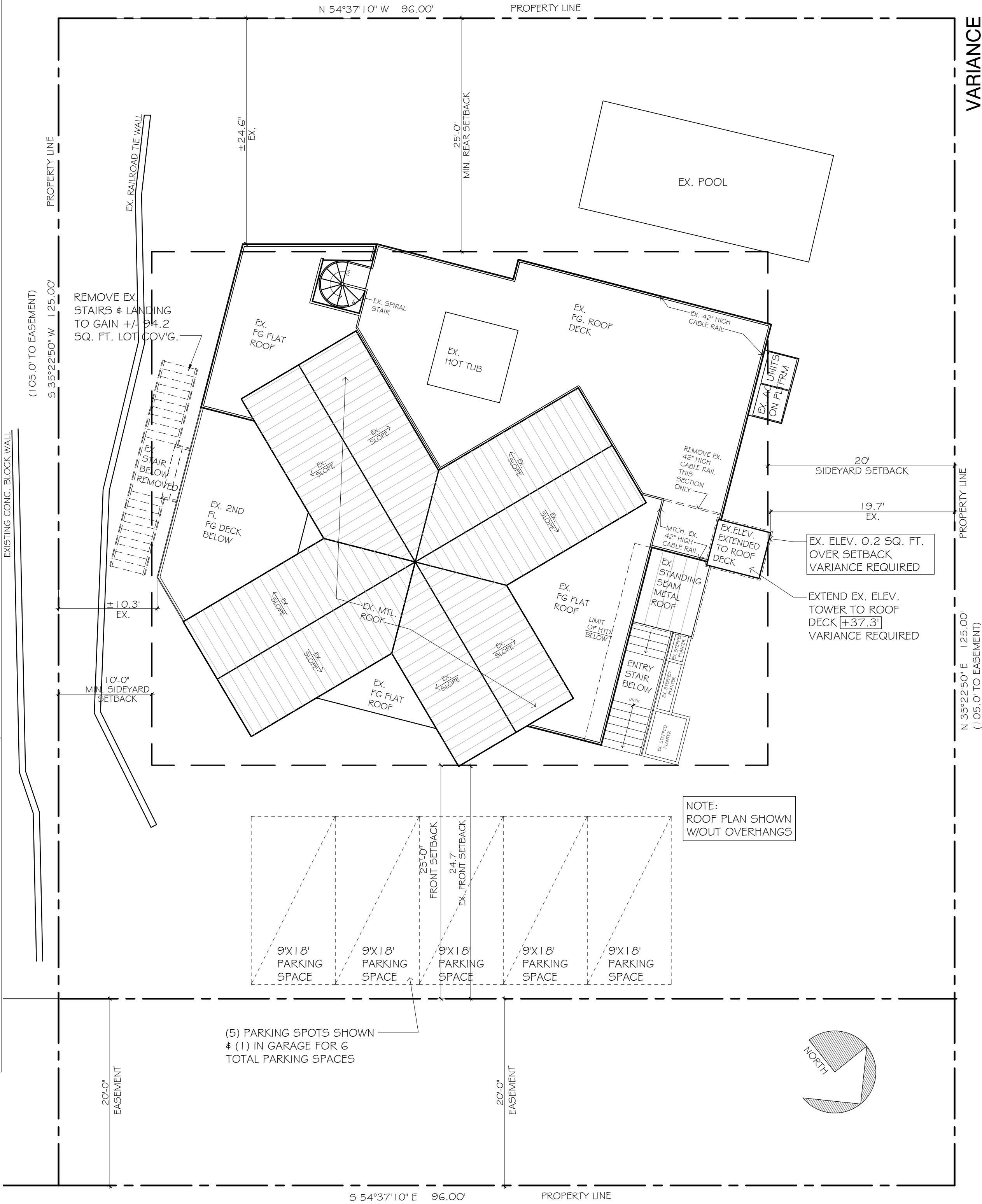
NOTE: INSTALL PLYWOOD WALL SHEATHING HORIZONTALLY
AND LAP OVER FLOOR JOISTS AND TOP PLATES.

- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
- ANY CONFLICT OR DISCREPANCY WHATSOEVER BETWEEN DRAWINGS, SPECIFICATIONS AND OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PLACING MATERIAL ORDERS AND/OR PROCEEDING WITH THE WORK. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS.
- THE DRAWINGS ARE AND REMAIN THE PROPERTY OF THE ARCHITECT AND INTENDED FOR USE ON THIS SITE ONLY AN MAY NOT BE USED OR REPRODUCED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- ALL SHORING, SCAFFOLDING, ETC. SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER IN STRICT ACCORDANCE WITH OSHA REGULATIONS AND ACCEPTED SAFE CONSTRUCTION POLICIES.
- THE GENERAL CONTRACTOR SHALL REQUIRE ALL SUCCESSFUL BIDDERS TO FURNISH COPIES OF INSURANCE CERTIFICATES IN EFFECT AS EVIDENCE THAT WORK IS FULLY COVERED BY WORKMAN'S COMPENSATION INSURANCE, PUBLIC LIABILITY, AND PROPERTY DAMAGE.
- CONCRETE WORK SHALL CONFORM TO THE LATEST ACI CODE AND DETAILING MANUAL. CONCRETE FLOORS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH ON 3000 PSI AT 28 DAYS.
- FOUNDATIONS SHALL REST ON UNDISTURBED SOIL 3'-0" BELOW FINISHED GRADE, 1'-6" BELOW EXISTING GRADE, OR TO A SOIL GOOD FOR 3000 PST.
- FRAMING LUMBER TO BE HEM-FIR NO. 2, S-DRY MINIMUM, OTHERWISE SPECIFIED. ALL EXPOSED LUMBER TO BE PRESSURE TREATED WITH WATER-BORNE PRESERVATIVES.
- ALL GIRDER TO PILING CONNECTIONS TO BE WITH (2) 3/4"Ø GALVANIZED CARRIAGE BOLTS, NUTS, AND WASHERS PER CONNECTION
- ALL POSTS TO BE NOTCHED AND BOLTED OR INSTALLED WITH SIMPSON BC SERIES OR APPROVED EQUAL GALVANIZED CAPS AND BASES
- HURRICANE CLIPS SHALL BE USED TO TIE THE FIRST FLOOR JOISTS TO GIRDERS, AND RAFTERS TO EXTERIOR WALL PLATE.
- ALL PLUMBING WORK SHALL CONFORM TO THE NATIONAL STANDARD PLUMBING CODE, LATEST EDITION.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION.
- ALL MECHANICAL WORK TO BE PERFORMED ACCORDING TO ASHRAE STANDARDS.

FASTENING SCHEDULE FOR STRUCTURAL MEMBERS:
STUD TO SOLE PLATE: 3 - 8d OR 2 - 16d DEFORMED NAILS
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE: TOE NAIL 3 - 8d DEFORMED NAILS
CEILING JOISTS TO PLATE: TOE NAIL 3 - 8d DEFORMED NAILS
CEILING JOISTS TO PARALLEL RAFTERS: FACE NAIL 3 - 10d DEFORMED NAILS
RAFTERS TO PLATE: TOE NAIL 2 - 16d DEFORMED NAILS
ROOF RAFTERS TO RIDGE, VALLEY, OR HIP RAFTERS: TOE NAIL 4 - 16d DEFORMED NAILS FACE NAIL 3 - 16d DEFORMED NAILS
COLLAR TIES TO RAFTER: FACE NAIL, OR 1 1/4" X 20 GAGE RIDGE STRAP: 3 - 10d DEFORMED NAILS

FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS, SUB-FLOOR,
ROOF AND WALL SHEATHING TO FRAMING:
1/2" 6d COMMON NAILS 6" O.C. 4'-0" TO CORNERS & 12" O.C. @ FIELD

WOOD STRUCTURAL PANELS, COMBINATION SUB-FLOOR UNDERLAYMENT TO FRAMING
3/4" ; OR LESS, 6d DEFORMED NAILS OR 8d COMMON NAILS 6" O.C. 4'-0" FROM EDGES & 12" O.C. @ FIELD



SITE/ROOF PLAN

SCALE: 1/8" = 1'-0"

VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD. REVISED:

NJ 08949 PA B9810

609-494-0909

7607 LONG BEACH BLVD., HARVEY CEDARS, NJ 08008

DRAWN BY:

LOVELADIES, NEW JERSEY

JAY MADPEN ARCHITECT

SP

2439



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD. REVISED:

NJ 08949 PA B9810

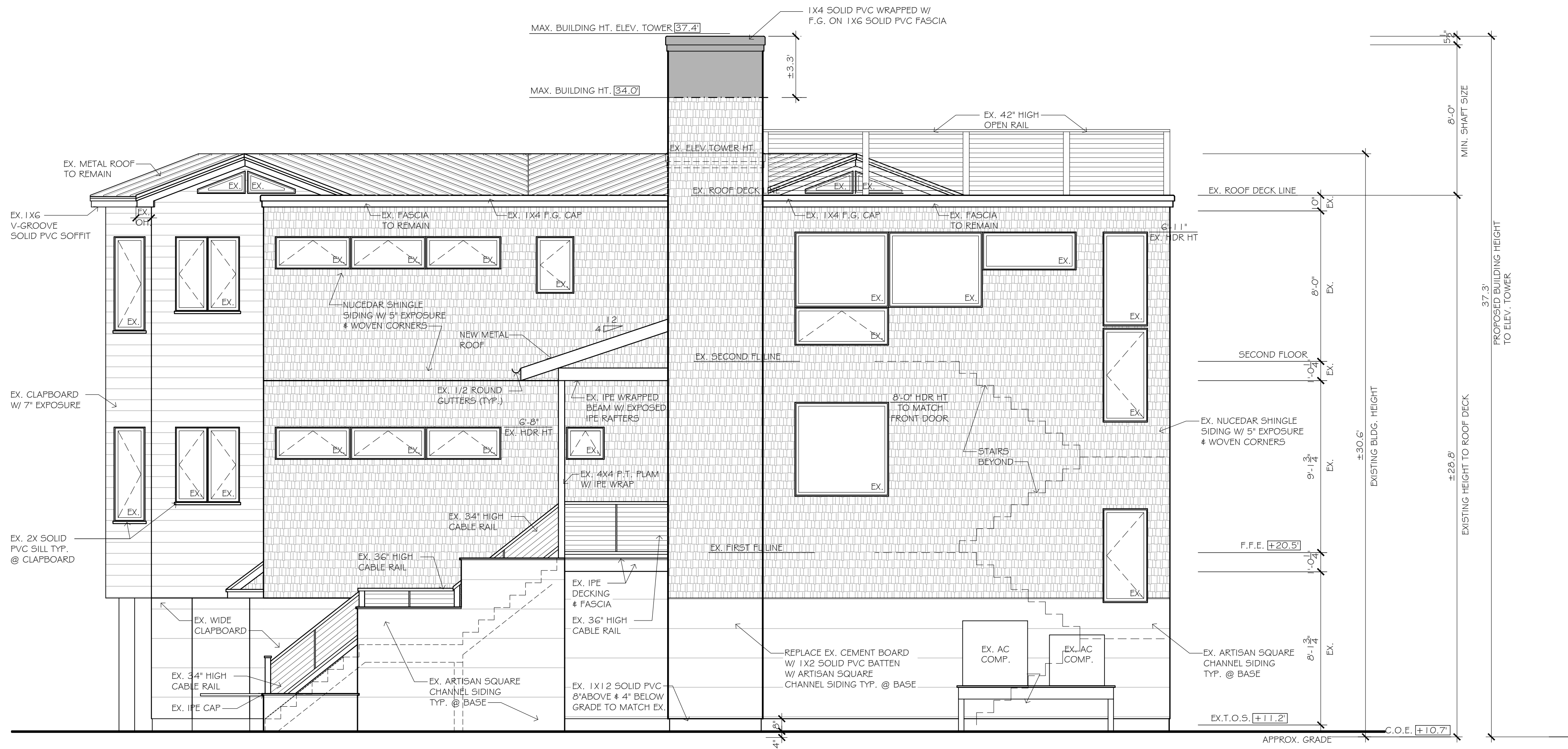
609-494-0903

LOVELADIES, NEW JERSEY

DRAWN BY:

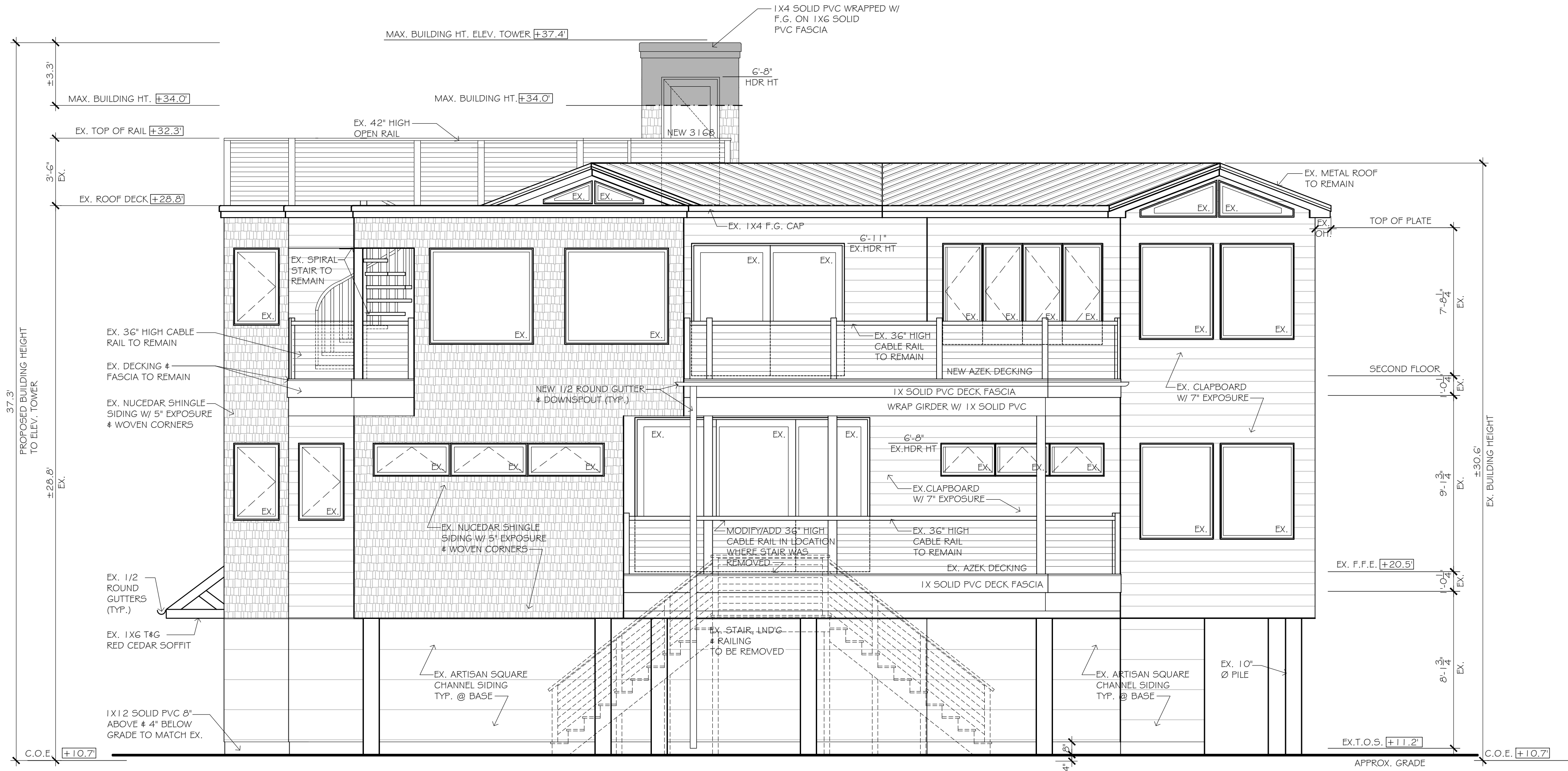
7607 LONG BEACH BLVD., HARVEY CEDARS, NJ 08008

JAY MADDEN
ARCHITECT



WEST ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$



EAST ELEVATION
SCALE: 1/4" = 1'-0"

VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD. REVISED:

LOVELADIES, NEW JERSEY

DRAWN BY:

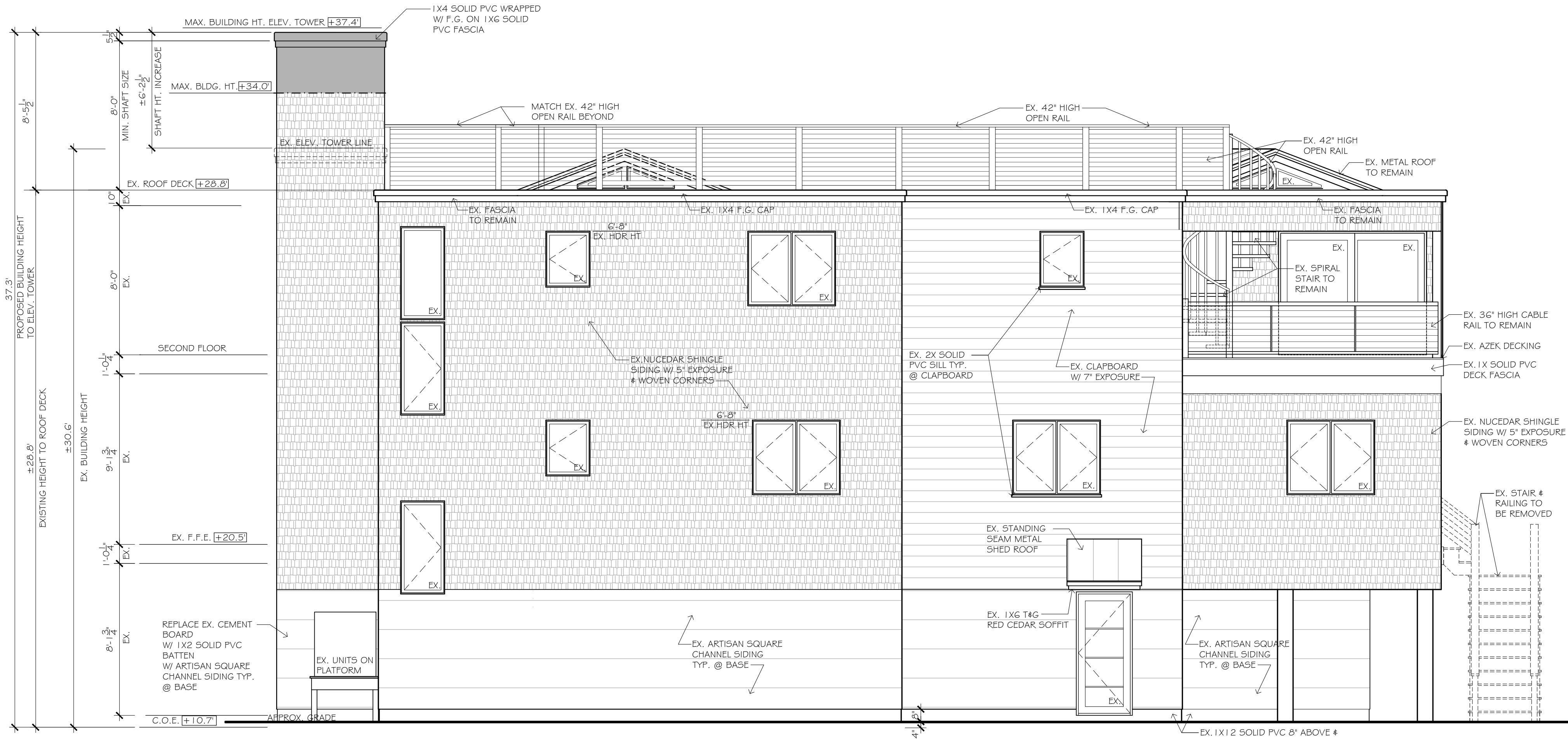
7607 LONG BEACH BLVD., HARVEY CEDARS, NJ 08008

NJ 08949 PA B9810

609-494-0909

JAY MADDEN
ARCHITECT

2439
3



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD.

REVISED:

LOVELADIES, NEW JERSEY

DRAWN BY:

7607 LONG BEACH BLVD., HARVEY CEDARS, NJ 08008

JAY MADDEN
ARCHITECT

NJ 08949 PA B9810

609-494-0909



VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

2439

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD. REVISD:

LOVELADIES, NEW JERSEY

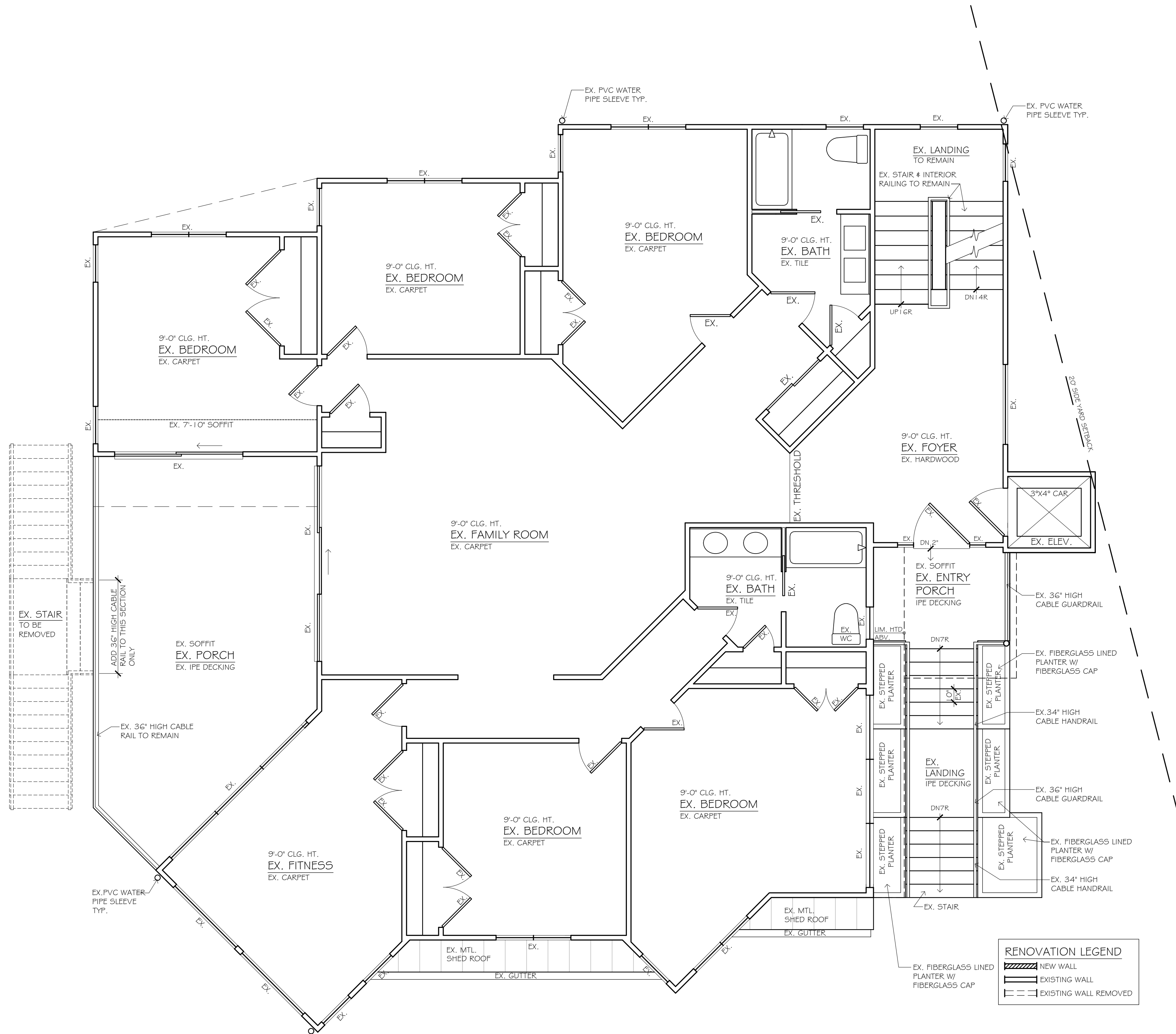
DRAWN BY:

7607 LONG BEACH BLVD., HARVEY CEDARS, NJ 08008

609-494-0909

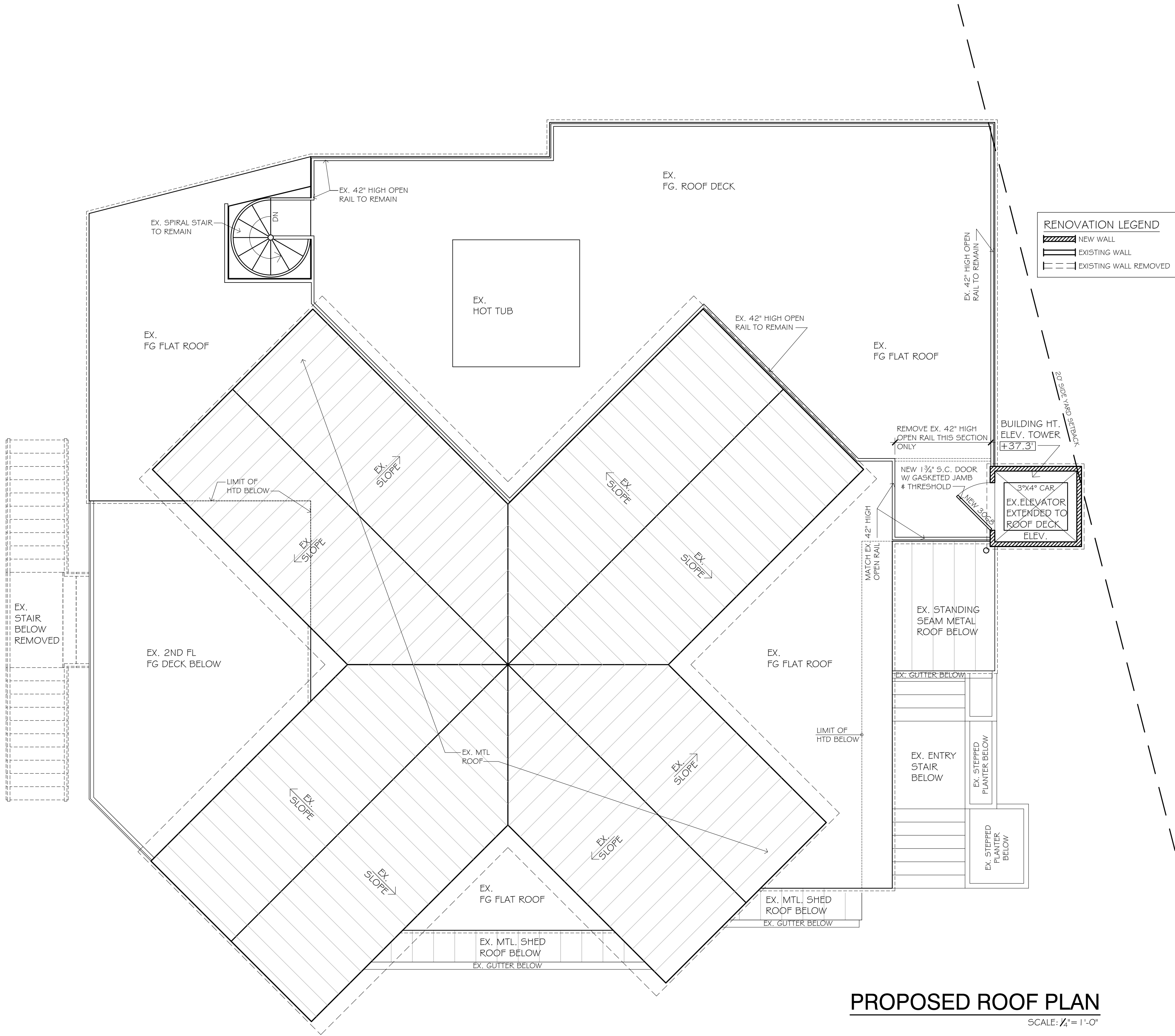
NJ 08949 PA B9810

NJ 08949 PA B9810



EXISTING FIRST FLOOR PLAN

SCALE: $\frac{1}{4}" = 1'-0"$



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

VARIANCE

THE POSSENRIEDE RESIDENCE

DATE: 12-16-2025

LOT 5 BLOCK 20.151 151 D LONG BEACH BLVD.

NJ 08949 PA B9810

609-494-0909

08008

LOVELADIES, NEW JERSEY

DRAWN BY:

7607 LONG BEACH BLVD., HARVEY CEDARS, NJ

JAY MADDEN ARCHITECT

2439