

Block Lot Qual	Property Location Additional Lot Additional Call	Property Class	Owner Address City, State	Zip Code
8.17 15	12010 LONG BEACH BLVD	4A	LSH HOLDINGS LLC 28 RODEO DRIVE WEST CREEK, NJ	08092
8.17 17	3 W MAC EVOY LANE	2	WAGSOFKY FAMILY TRUST ETAL 219 WINDSOR PLACE BROOKLYN, NY	11215
8.17 18	5 W MAC EVOY LANE	2	GOLD, ADAM & GILLIAN 38 MARLE AVENUE METUCHEN, NJ	08840
8.17 19	7 W MAC EVOY LANE	2	HOLER, CHRISTOPHER & CATHRYN 312 SAINT GEORGES PLACE WESTFIELD, NJ	07090
8.17 20	9 W MAC EVOY LANE	2	BENDER JOINT REVOCABLE TRUST 3956 SAN PIERRO COURT PORTA GORDA, IL	33950
8.24 1	3 E HOLLY BANKS LANE	2	BARRY, RICHARD & DORIAN 43 INTERLAKEN DRIVE EASTCHESTER, NJ	10709
8.24 5	2 E MAC EVOY LANE	2	KESAL, PETER J JR & C M 57 BIRDIE WAY LAWRENCEVILLE, NJ	08648
8.24 6	12011 LONG BEACH BLVD	2	O'HEA, MICHAEL & KATHLEEN 128 DOWNTOWN AVE HILLSDALE, NJ	07642
8.29 5	7 W HOLLY BANKS LANE	2	BROWN, FRANCES F 7 W HOLLY BANKS LANE BEACH HAVEN DUNES, NJ	08008
8.29 6	5 W HOLLY BANKS LANE	2	DEVINIS, ANTHONY P & KAREN L 303 E CENTRAL AVE FOCAL, RIVER, NJ	10965
8.29 7	3 W HOLLY BANKS LANE	2	SODAR, KAREN A & FISHER, KENNETH W 481 STEVENS AVE RIDGEWOOD, NJ	07450
8.29 8	12106 LONG BEACH BLVD	2	DISABRE, DREGO T & MARLENE L 105 LANCASTER RD FREDHOLD, NJ	07728
8.29 9	12102 LONG BEACH BLVD	2	ADISTINO, ANNE A TRUST 9 BROOKVIEW BLVD CHESTNUT RIDGE, NY	10977

Block Lot Qual	Property Location Additional Lot Additional Call	Property Class	Owner Address City, State	Zip Code
8.29 10	2 W MAC EVOY LANE	2	CORREIA, DEREK L & KELLY P 2 W MAC EVOY LANE LONG BEACH TOWNSHIP, NJ	08008
8.29 11	4 W MAC EVOY LANE	2	ALFONSO, REGINA 4 WEST MAC EVOY LANE LONG BEACH TWP, NJ	08008
8.29 12	6 W MAC EVOY LANE	2	LUPCO, JOHN J & ELAINE A 2929 LINCOLN SINCE SPRING PA	19608
8.29 13	8 W MAC EVOY LANE	2	HAND, DAVID L & KATHLEEN N 13505 VIRGINIA WILLOW DR FAIRFAX VA	22033
10.02 5	20 W UTAH AVE	2	HALIMOWSKI, ERIC 806 WOOD AVE EDISON, NJ	08820
10.02 6	18 W UTAH AVE	2	WOLF, KENNETH JORDAN & CYNTHIA T PO BOX 2007 LONG BEACH TOWNSHIP, NJ	08008
10.02 8	10 W UTAH AVE	2	SNYDER JOINT REVOCABLE TRUST 10 W UTAH AVE LONG BEACH TOWNSHIP, NJ	08008
10.02 9	6 W UTAH AVE	2	SOKOL, ROBERT & MARY 410 E 5TH STREET FLORHAM, NJ	08518
10.02 10	12000 LONG BEACH BLVD	4A	ATKINSON, MARK D & AMY 34 CORNELL DR MANAHAWKIN, NJ	08050
10.03 1	12005 LONG BEACH BLVD	4A	TAA PROPERTY LLC 12005 LONG BEACH BLVD LONG BEACH TWP, NJ	08008
10.03 10.01	12001 LONG BEACH BLVD	1	TAA PROPERTY LLC 12001 LONG BEACH BLVD LONG BEACH TWP, NJ	08008
10.06 4	17 W UTAH AVE	2	HORNANN, GLENN & DEBRA A 3049 WOODLANE AVENUE CHERFIELD, NJ	18069
10.06 5	15 W UTAH AVE	2	SMITH FAMILY TRUST 15 W UTAH AVE HAVEN BEACH, NJ	08008

Block Lot Qual	Property Location Additional Lot Additional Call	Property Class	Owner Address City, State	Zip Code
10.06 6	7 W UTAH AVE	2	LEVINSKY, DAVID & ELENA 19 WALLLEY AVE STATEN ISLAND, NJ	10312
10.06 7	5 W UTAH AVE	2	FISHER, CYNTHIA B 5 W UTAH AVE LONG BEACH TOWNSHIP, NJ	08008
10.06 8	11910 LONG BEACH BLVD	2	BELLA HOLDING LLC ATTN: FODA, RANDA 119 WILSON PARK EAST CHERRY HILL, NJ	08003
10.06 9	11902 LONG BEACH BLVD	4A	11902 LONG BEACH BLVD LLC % COOPERMAN 50 ROCKEFELLER PLZ FL 4 NEW YORK, NY	10020
10.06 10	12 W NEVADA AVE	2	SOLAN, ADAM & MARISSA 12 W NEVADA AVENUE LONG BEACH TOWNSHIP, NJ	08008

UTILITY CONTACTS

ATLANTIC CITY ELECTRIC REAL ESTATE DEPARTMENT 5100 HARDING HIGHWAY, SUITE 389 MAYS LANDING, NEW JERSEY 08330	VERIZON ENGINEERING DEPARTMENT 423 W WASHINGTON AVENUE, FLOOR 2 PLEASANTVILLE, NEW JERSEY 08232	COMCAST JOSH COSULICH 830 ROUTE 37 WEST TOMS RIVER, NEW JERSEY 08755	NEW JERSEY NATURAL GAS RIGHT OF WAY DEPARTMENT 1415 WYCKOFF ROAD WALL, NEW JERSEY 07719	OCEAN COUNTY PLANNING BOARD P.O. BOX 2191 TOMS RIVER, NEW JERSEY 08754-2191
--	--	--	---	---

SHEET #	SHEET TITLE	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	06/12/25	10/24/25
C101	PLAN NOTES	06/12/25	10/24/25
C200	EXISTING CONDITIONS	06/12/25	10/24/25
C300	PROPOSED CONDITIONS	06/12/25	10/24/25
C400	GRADING, DRAINAGE, AND UTILITY PLAN	06/12/25	10/24/25
C600	LANDSCAPE PLAN	06/12/25	10/24/25
C601	LANDSCAPE & LIGHTING NOTES & DETAILS	06/12/25	10/24/25
C700	CONSTRUCTION DETAILS	06/12/25	10/24/25
C701	CONSTRUCTION DETAILS	06/12/25	10/24/25
C800	SOIL EROSION AND SEDIMENT CONTROL PLAN	06/12/25	10/24/25
C801	SOIL EROSION & SEDIMENT CONTROL NOTES	06/12/25	10/24/25
C802	SOIL EROSION & SEDIMENT CONTROL DETAILS	06/12/25	10/24/25

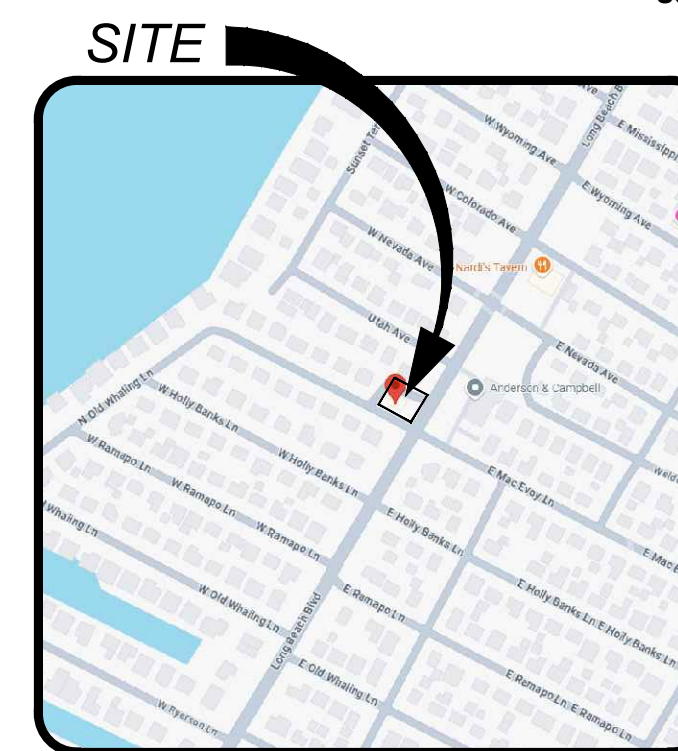
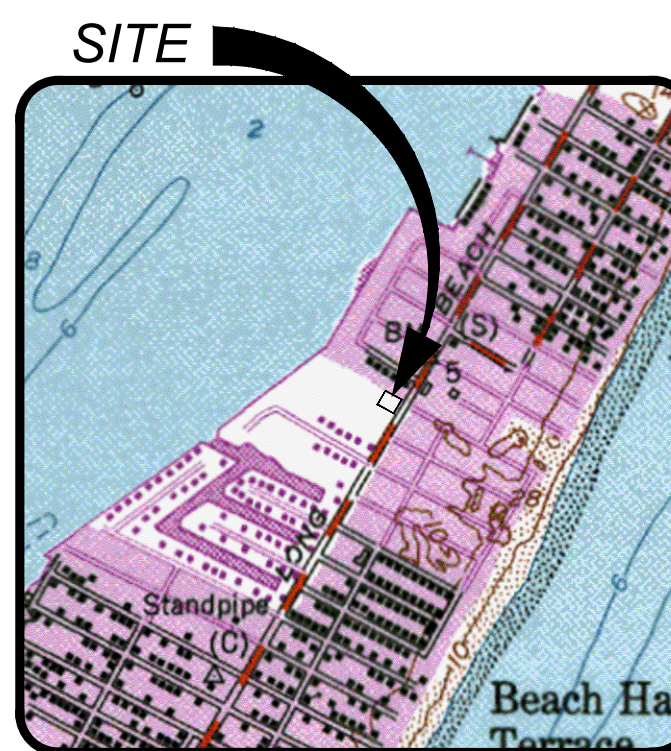
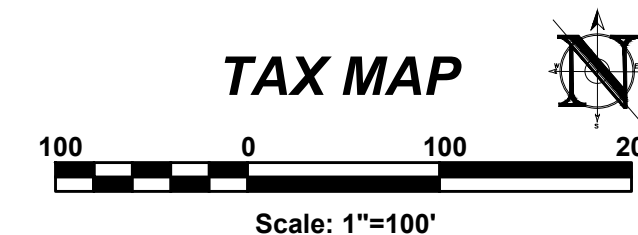
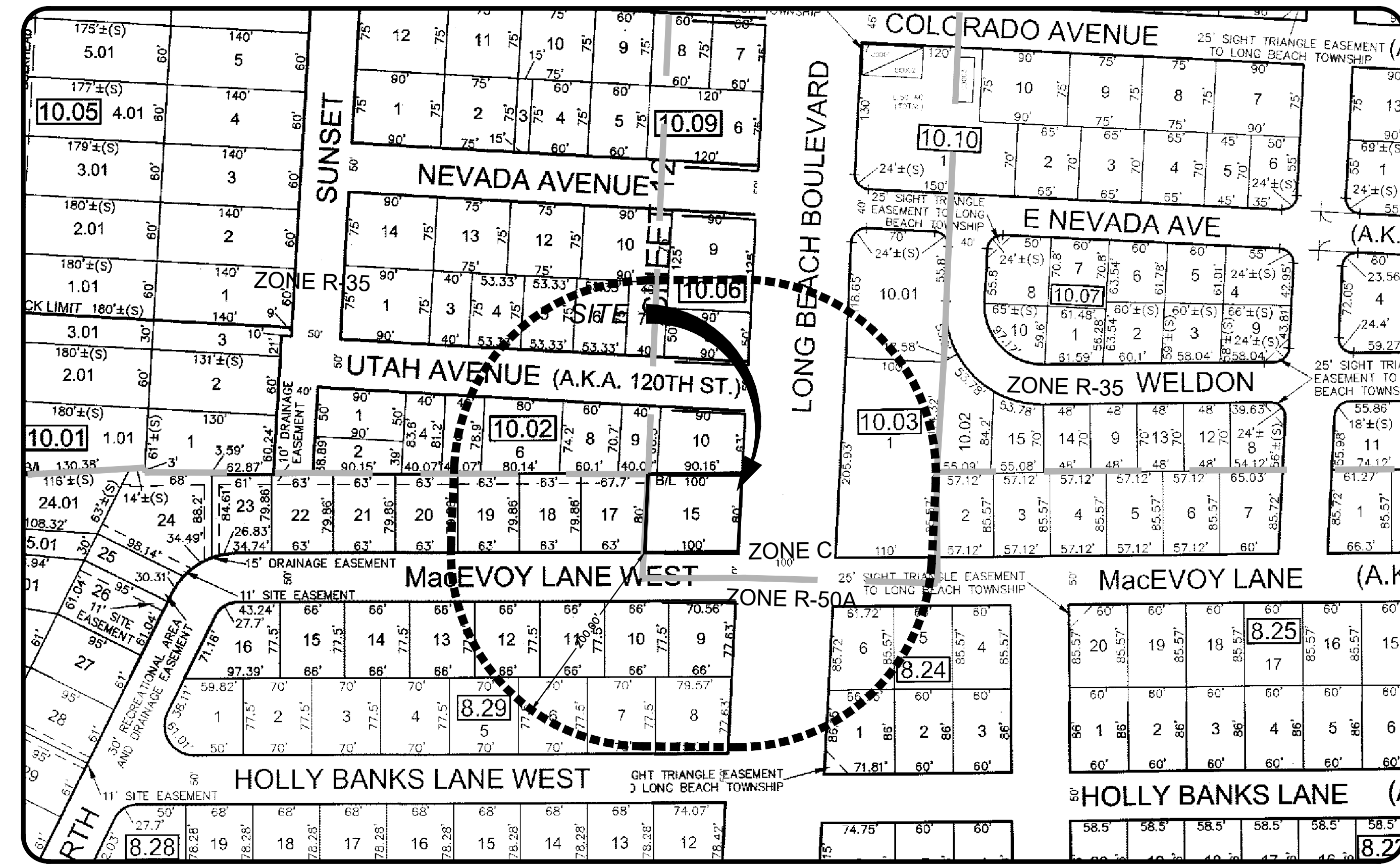
LAND USE BOARD APPROVAL

APPROVED BY THE LONG BEACH TOWNSHIP LAND USE BOARD

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

SEE SHEET C101 FOR PLAN NOTES

PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED MIXED-USE BUILDING BLOCK 8.17, LOT 15 TAX MAP SHEET #12 12010 LONG BEACH BOULEVARD LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY



PROJECT INFORMATION

PROJECT NAME

PROPOSED
MIXED-USE
BUILDING

PROJECT LOCATION

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD,
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

ARCHITECT

GRATY CONSULTING GROUP
128 BARTLETT AVENUE,
WEST CREEK, NJ 08092

SURVEYOR

GRATY CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY

RABAN & RABAN
11710 LONG BEACH BLVD
LONG BEACH TOWNSHIP, NJ 08008



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ALLENTOWN, NJ 0740120 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)

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Douglas D. Clelland

DOUGLAS D. CLELLAND, PE

PROFESSIONAL ENGINEER

NJ PE 24GE05331000

REVISIONS

Rev # Date Comment

PROJECT LOCATION.

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD.
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

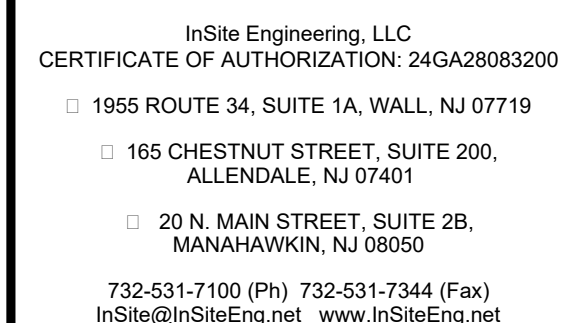
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WEST CREEK, NJ 08092

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HAND LINE ARCHITECT
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WEST CREEK, NJ 08092

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414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:
RABAN & RABAN
11710 LONG BEACH BLVD.
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DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

[illegible]

2	10/24/25	PER NEW ORDINANCE
1	09/26/25	PER TOWNSHIP COMMENTS
0	06/12/25	INITIAL RELEASE

SCALE: 1"=10'	DESIGNED BY: <i>JMW</i>
---------------	-------------------------

DATE: 06/12/25	DRAWN BY: M-S
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JOB #: 25-2462-02	CHECKED BY: DDC
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NOT FOR CONSTRUCTION

		APPROVED BY:	
FOR CONSTRUCTION			

FOR CONSTRUCTION		
PLAN INFORMATION		

DRAWING TITLE:

PRELIMINARY & FINAL

PRELIMINARY & FINAL MAJOR SITE PLAN

MAJOR SITE PLAN

SHEET 001 OF 001

SHEET TITLE:

EXISTING CONDITIONS

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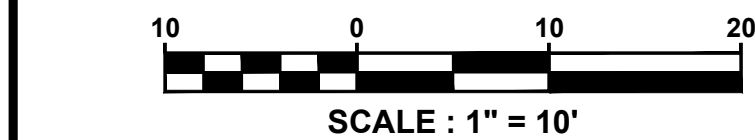
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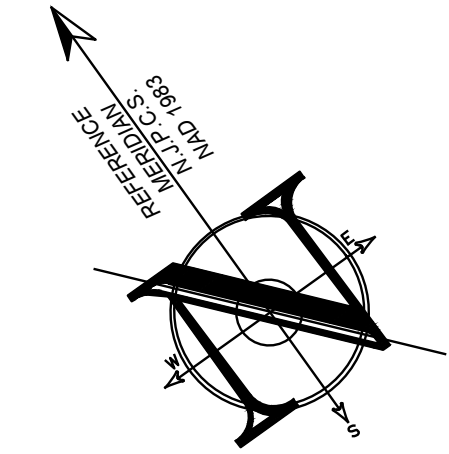
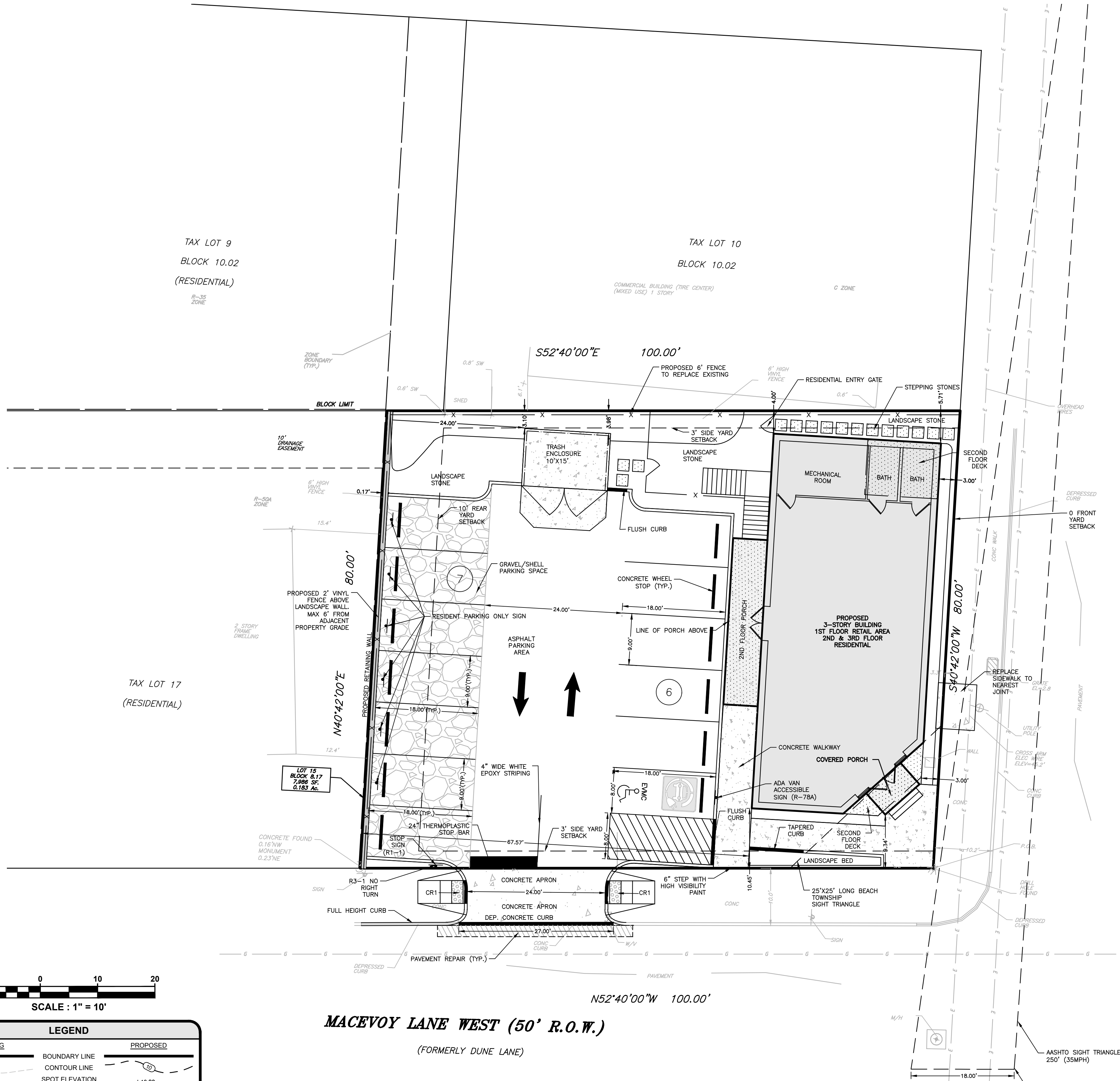
<u>EXISTING</u>		<u>PROPOSED</u>
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	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	
	LIGHT FIXTURE	
	TEST PIT LOCATION	
	GRADE FLOW ARROW	
	SWALE CENTER LINE	

File: X:\data\3462 - 25-2462-02 - 12010 Long Beach Boulevard Long Beach Township, NJ\25-2462-02\Map\3462 Layout.dwg, --> C300 Layout.dwg
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LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE



MACEVOY LANE WEST (50' R.O.W.)
(FORMERLY DUNE LANE)



ZONING COMPLIANCE CHART					
ZONE C (§ 205-59)					
MIXED USE (RETAIL / RESIDENTIAL): PERMITTED					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
205-59.C.1	MIN. LOT AREA (SF)	6,000	7,986 (0.183 AC)	NO CHANGE	YES
205-59.C.1	MIN. LOT WIDTH (FT)	60	100	NO CHANGE	YES
205-59.C	MIN. FRONT YARD SETBACK (FT) (LONG BEACH BLVD)	(1)	N/S	3.00	YES
205-59.C.4	MIN. REAR YARD SETBACK (FT)	10	44.4	67.57	YES
205-59.C.2	MIN. SIDE YARD SETBACK (FT)	3	43.7	4.00	YES
205-10.A	MAX. BUILDING HEIGHT (FT)	34	18.0	33.76	YES
205-25.A.1	MIN. REAR YARD SETBACK (FT)	0	N/A	3.10	YES
205-25.A.1	MIN. SIDE YARD SETBACK (FT)	3	N/A	24.00	YES
205-25.A.1	MIN. FRONT YARD SETBACK (FT)	5	N/A	>5	YES
205-33.B.4	MIN. PERVIOUS SETBACK FROM REAR PROPERTY LINE (FT)(2)	1.5	1.2 (N)	3.10 (X)	YES
205-33.B.4	MIN. PERVIOUS SETBACK FROM SIDE PROPERTY LINE (FT)	1.5	0.4 (N)	3.00 (X)	YES
205-6	OBSTRUCTION LOCATED IN SITE TRIANGLE	NOT PERMITTED	BUILDING LOCATED (N)	BUILDING NOT LOCATED (X)	YES
205-33.B.3.a	MAX. IMPERVIOUS COVERAGE (%)	75	98.82 (N)	68.96 (X)	YES
(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION N/A - NOT APPLICABLE					
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED N/S - NOT SPECIFIED					
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER					
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE					
(1) PER SECTION 205-11.E.1.A ON ANY CORNER LOT, THE OWNER OF SUCH LOT MAY DETERMINE UPON WHICH STREET HE OR SHE WISHES THE MAIN BUILDING TO FRONT. THE STREET NOT SELECTED AS THE FRONT YARD SHALL BE DESIGNATED AS THE SIDE YARD. ALL FRONT-YARD AND SIDE-YARD REGULATIONS SHALL APPLY TO THE LOT, AS SELECTED.					
(2) THE EIGHTEEN-INCH PERVIOUS AREA IS NOT REQUIRED FOR DRIVEWAYS WITH A MINIMUM SIX-INCH-HIGH CURBLINE ALONG THE SIDE OF A DRIVEWAY ABUTTING A PROPERTY LOT LINE.					

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART (§ 30-59)				
ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
205-59.E.1	NUMBER OF PARKING SPACES			
205-51.D	RETAIL USE: 2 SPACES PER 1,000 SF OF FLOOR AREA (1)	(1,829/1,000)X2=4	7 (>50% OF TOTAL PARKING)	YES
205-51.D	RESIDENTIAL USE: 3 SPACES PER UNIT	3X2=6	6	YES
205-2	TOTAL REQUIRED SPACES	10	13	YES
205-59.F	MIN. STALL SIZE - FULL SIZE VEHICLES	9x18	9x18	YES
205-59.F	REQUIRED NUMBER OF ACCESSIBLE SPACES-UP TO 25 SPACE PARKING LOT	1	1	YES
205-59.F	LOADING SPACE	N/A	0	YES
172-20.A.2	CORNER LOT DEPRESSED CURB REQUIREMENTS	27	27.00	YES
172-17	MAX. DEPRESSED CURB WIDTH (FT)- IN CASE OF ONE DEPRESSED CURB CURB & SIDEWALK WIDTH IN CASE OF STREETS 50 FT	10	10.00	YES
(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION N/A - NOT APPLICABLE				
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED N/S - NOT SPECIFIED				
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER				
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE				
(1) IN ACCORDANCE WITH 205-59(18)c, A MINIMUM OF 50% OF THE PARKING AT THE PROPERTY SHALL BE FOR THE NONRESIDENTIAL USES LOCATED AT THE PROPERTY				
(2) THAT THIS SUBSECTION SHALL NOT APPLY TO BUSINESS OFFICES AND PROFESSIONAL OFFICES; PROVIDED, HOWEVER, NO LOADING ZONES SHALL BE REQUIRED FOR ANY BUSINESS OR COMMERCIAL USE OF LESS THAN 4,000 SQUARE FEET INCLUDING STORAGE				

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)			
PARKING LOT OR GARAGE NOT COVERED IN C.40.55D-66.20.3.b.(1)			
SECTION	STANDARD	REQUIRED	COMPLIES
3.c.	MINIMUM NUMBER OF MAKE-READY (MR) PARKING SPACES		
3.b.(1)(a)	25 OR FEWER OFF-STREET PARKING SPACES	1	YES
3.b.(1)(a)	MINIMUM NUMBER OF ADA PARKING SPACES	5% OF MAKE-READY PARKING SPACES	YES
(MR) "MAKE-READY" MEANS THE PRE-WIRING OF ELECTRICAL INFRASTRUCTURE AT A PARKING SPACE, OR SET OF PARKING SPACES, TO FACILITATE EASY AND COST-EFFICIENT FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT OR ELECTRIC VEHICLE SERVICE EQUIPMENT, INCLUDING, BUT NOT LIMITED TO, LEVEL TWO EVSE AND DIRECT CURRENT FAST CHARGERS. MAKE READY INCLUDES EXPENSES RELATED TO SERVICE PANELS, JUNCTION BOXES, CONDUIT, WIRING, AND OTHER COMPONENTS NECESSARY TO MAKE A PARTICULAR LOCATION ABLE TO ACCOMMODATE ELECTRIC VEHICLE SUPPLY EQUIPMENT OR ELECTRIC VEHICLE SERVICE EQUIPMENT ON A "PLUG AND PLAY" BASIS. "MAKE-READY" IS SYNONYMOUS WITH THE TERM "CHARGER READY," AS USED IN P.L. 2019, c.392 (C.48:25-1 et al.).			
* RETAIL WITH FEWER THAN 25 SPACES EXEMPT, 0 EV SPACES REQUIRED.			

SIGNAGE COMPLIANCE CHART (§ 205-65)				
ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
205-65(B)7	MAX. AREA (SF)	10% GROUND FLOOR AREA	162	YES
205-65(B)7	MAX. HEIGHT (FT)	5	3	YES
205-65(B)7	MAX. NUMBER OF SIGNS PER FRONTAGE	1	1	YES
(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION N/A - NOT APPLICABLE				
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED N/S - NOT SPECIFIED				
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER				
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE				

PROJECT INFORMATION

PROJECT NAME

PROPOSED MIXED-USE BUILDING

PROJECT LOCATION

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD,
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

ARCHITECT:
HAND LINE ARCHITECT
128 BARTLETT AVENUE,
WEST CREEK, NJ 08092

SURVEYOR:
GRAVATT CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:
RABAN & RABAN
11710 LONG BEACH BLVD
LONG BEACH TOWNSHIP, NJ 08098

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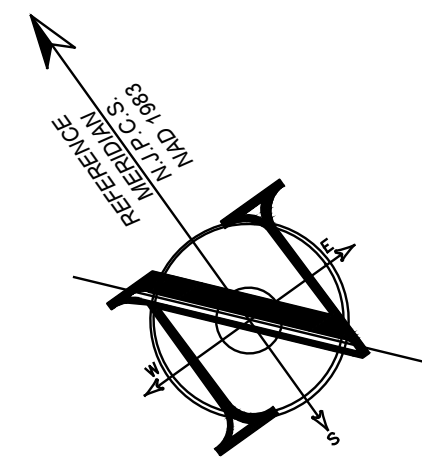
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CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
165 CHESTNUT STREET, SUITE 200,
ALLENTOWN, NJ 07401
20 N. MAIN STREET, SUITE 2B,
MANAHAWKAN, NJ 08050
732-531-7100 (Ph) 732-531-7344 (Fax)
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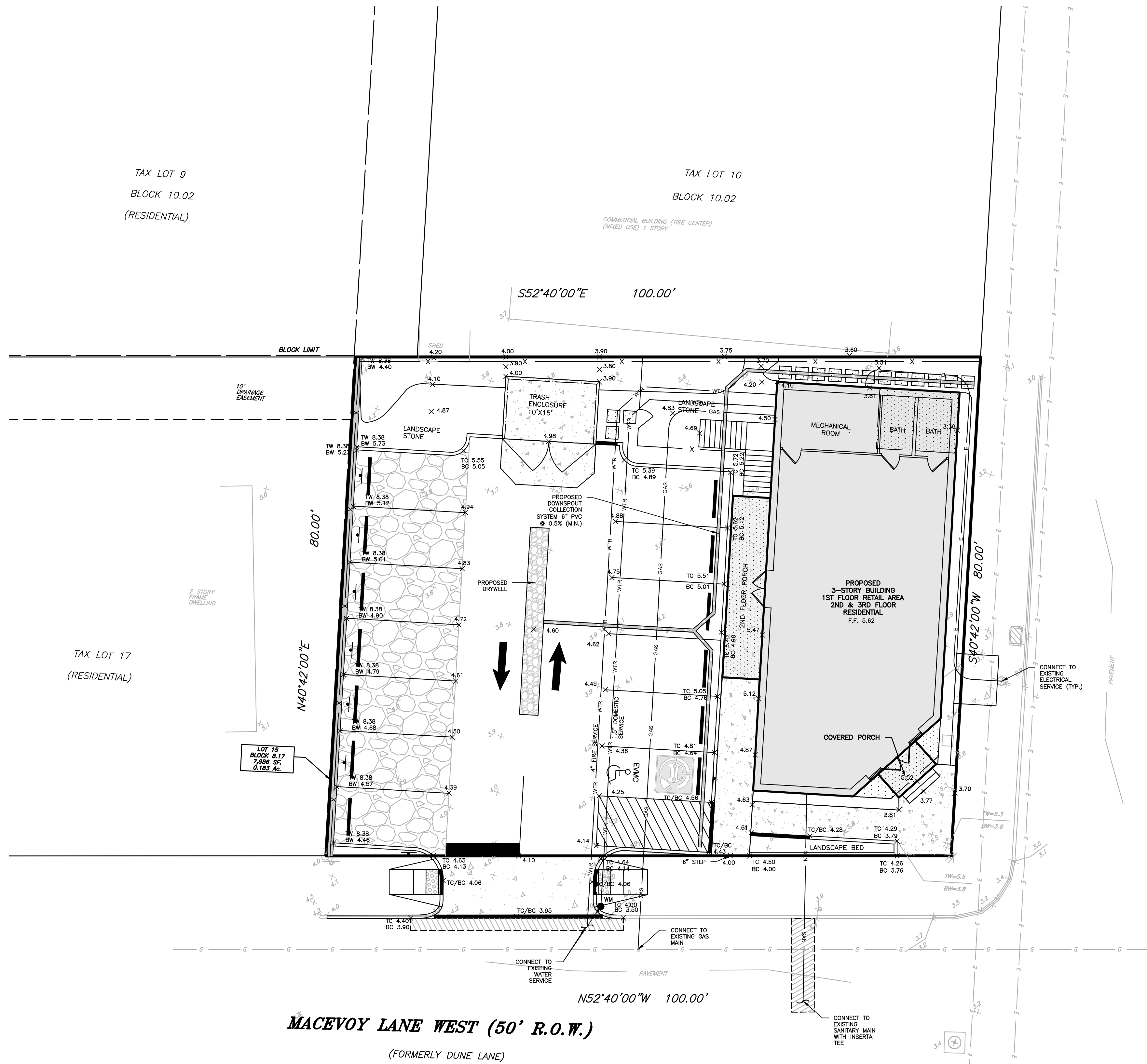
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1	09/26/25	PER TOWNSHIP COMMENTS
0	08/12/25	INITIAL RELEASE
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DATE: 06/12/25		
DRAWN BY: M-S		
JOB #: 25-2462-02		
CHECKED BY: DDC		
NOT FOR CONSTRUCTION		
APPROVED BY:		
FOR CONSTRUCTION		
PLAN INFORMATION		
DRAWING TITLE:		
PRELIMINARY & FINAL MAJOR SITE PLAN		
SHEET TITLE:		
PROPOSED CONDITIONS		
SHEET NO.		
C300		

File: X:\Jobs\2462 - 25 Pre Construction\25-2462-02 - 12010 Long Beach Boulevard Long Beach Township, NJ\2524620202\Wg\C400 GDUL.dwg, ----> C400 GDUL
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LEGEND

EXISTING	PROPOSED



LONG BEACH BOULEVARD
(AKA COUNTY ROAD ROUTE 607)
(100' R.O.W. F.M. & T.M.)

PROJECT INFORMATION

PROJECT NAME:

PROPOSED MIXED-USE BUILDING

PROJECT LOCATION:

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD,
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

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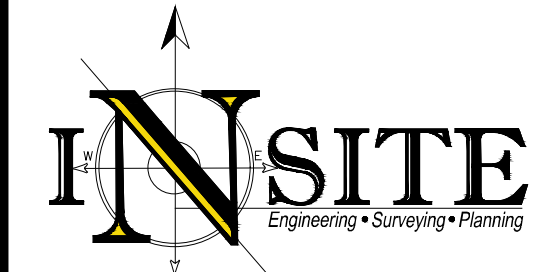
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11710 LONG BEACH BLVD,
LONG BEACH TOWNSHIP, NJ 08008



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(or local 7 days prior to excavation)



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CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

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ALLENDALE, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

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NJ PE 24GE05331000

REVISIONS

Rev. #	Date	Comment
1	06/12/25	PER TOWNSHIP COMMENTS
2	06/12/25	INITIAL RELEASE

SCALE: 1" = 10' DESIGNED BY: JMW

DATE: 06/12/25 DRAWN BY: M-S

JOB #: 25-2462-02 CHECKED BY: DDC

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

**PRELIMINARY & FINAL
MAJOR SITE PLAN**

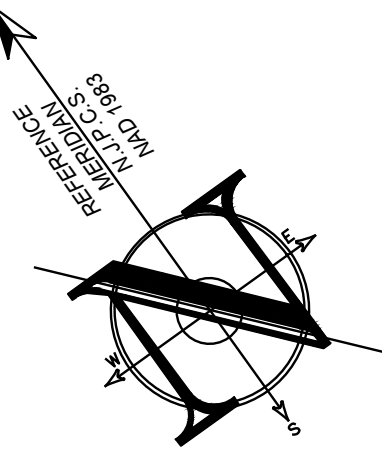
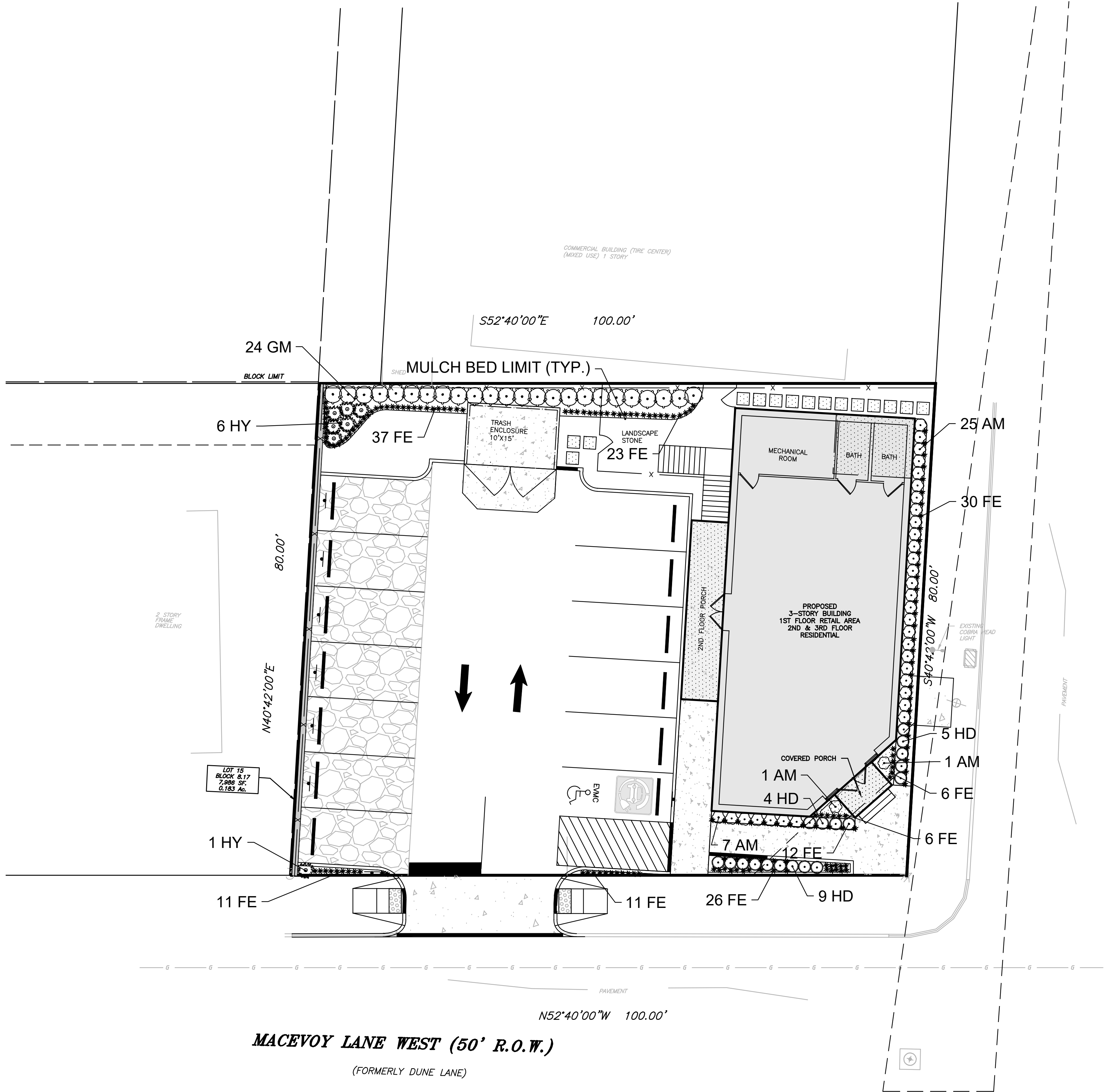
SHEET TITLE:

**GRADING, DRAINAGE,
AND UTILITY PLAN**

SHEET NO.:

C400

PLANTING SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE	ROOT
GM	24	SHRUBS (3)	GREEN MOUNTAIN BOXWOOD	8-10' HT.		(Cont.)
HY	7	HYDRANGEA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	1.5-2' HT. 3 GAL		(Cont.)
AM	34	ACHILLEA X MOONSHINE	MOONSHINE YARROW	1 GAL		(Cont.)
FE	162	GROUND COVER (2)	BLUE FESCUE	1 GAL	1 FT	(Cont.)
HD	18	FESTUCA GLAUCA 'ELIAH BLUE'	BIG DADDY HOSTA	1 GAL	1 FT	(Cont.)



LEGEND	
EXISTING	PROPOSED
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	SANITARY LATERAL
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE

SEE SHEET C101 FOR PLAN NOTES

PROJECT INFORMATION

PROJECT NAME:

PROPOSED MIXED-USE BUILDING

PROJECT LOCATION:

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD,
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

ARCHITECT:

HAND LINE ARCHITECT
128 BARTLETT AVENUE,
WEST CREEK, NJ 08092

SURVEYOR:

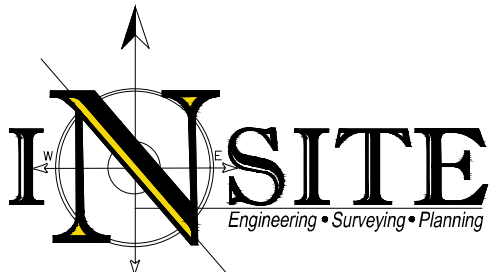
GRAVATT CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:

RABAN & RABAN
11710 LONG BEACH BLVD,
LONG BEACH TOWNSHIP, NJ 08098



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(or local 7 days prior to excavation)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLEDALE, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev. # Date Comment

2 10/24/25 PER NEW ORDINANCE

1 09/26/25 PER TOWNSHIP COMMENTS

0 08/12/25 INITIAL RELEASE

SCALE: 1"=10' DESIGNED BY: JMW

DATE: 06/12/25 DRAWN BY: M-S

JOB #: 25-2462-02 CHECKED BY: DDC

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL

MAJOR SITE PLAN

SHEET TITLE:

LANDSCAPE PLAN

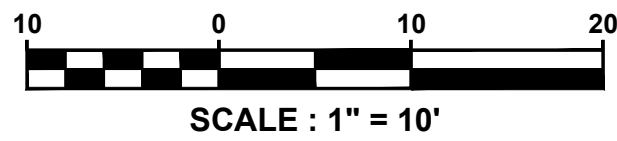
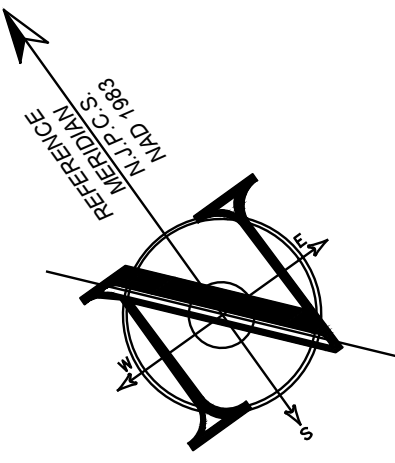
SHEET NO.:

C600

LUMINAIRE SCHEDULE									
BEL	QTY	MANUFACTURER	CATALOG NUMBER	LIGHT TYPE	LUMENS	COLOR (K)	DIRECTION OF ILLUMINATION	MOUNTING TYPE	MOUNTING HEIGHT
A	4	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT	LED	1,537	3,000		WALL	SEE PLAN
B	1	LITHONIA LIGHTING	DSX1 LED P1 30K 70CRI TFTM	LED	7,446	3,000	FORWARD	POLE	10'
C	2	LITHONIA LIGHTING	DSXB LED 16C 350 30K SYM	LED	1,558	3,000	FORWARD	BOLLARD	SEE DETAIL

NOTES:

1. LIGHTING CONTOUR VALUES SHOWN ARE: 1.0, 0.50 AND 0.25 FOOTCANDLES.
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.



LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	
	LIGHT FIXTURE	
	TEST PIT LOCATION	
	GRADE FLOW ARROW	
	SWALE CENTER LINE	

PROJECT INFORMATION

PROJECT NAME:

PROPOSED MIXED-USE BUILDING

PROJECT LOCATION.

BLOCK 8.17, LOT 15
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LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS	
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128 BARTLETT AVENUE,
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SURVEYOR:
GRAVATT CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:
RABAN & RABAN
11710 LONG BEACH BLVD.
LONG BEACH TOWNSHIP, NJ 08008



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(at least 3 days prior to excavation)



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CERTIFICATE OF AUTHORIZATION: 24GA28083200

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- ☐ 165 CHESTNUT STREET, SUITE 200,
ALLENDALE, NJ 07401
- ☐ 20 N. MAIN STREET, SUITE 2B,
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DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

[illegible]

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1	09/26/25	PER TOWNSHIP COMMENTS
0	06/12/25	INITIAL RELEASE

SCALE: 1"=10'	DESIGNED BY: JMW
---------------	------------------

SCALE: 1"=10'

DESIGNED BY: JMW

DATE: 06/12/25

DRAWN BY: M-S

JOB #: 25-2462-02

CHECKED BY: *DDC*

☒ NOT FOR CONSTRUCTION

APPROVED BY _____

FOR CONSTRUCTION	
PLAN INFORMATION	

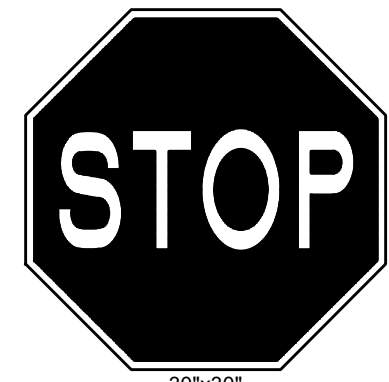
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:

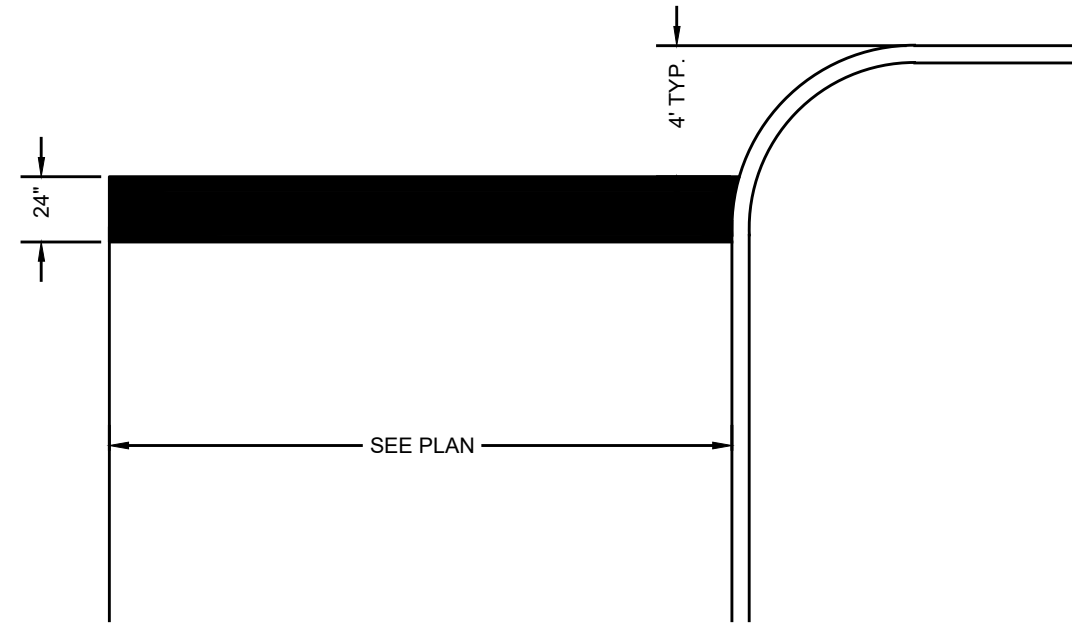
LIGHTING PLAN

SHEET NO:

C601



STOP SIGN (R1-1)
NTS

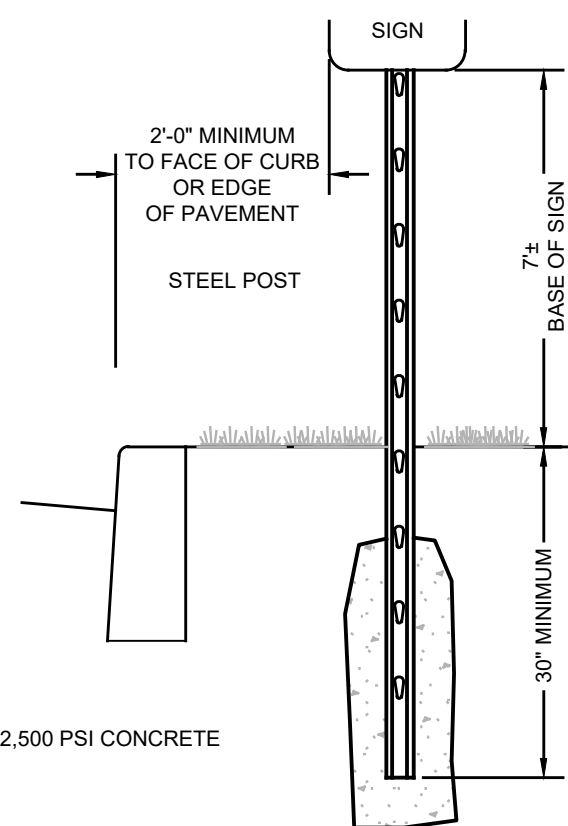


STOP BAR
NTS

GENERAL NOTES:

1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR.
2. DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE. BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
3. CURB (DROPPED CURB) GUTTERLINE SHALL BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS, EXCEPT THAT CURB RAMP TYPE 6 SHALL BE A MINIMUM OF 5 FEET.
4. FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
5. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, THE SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR ON 70% COLOR CONTRAST FOR OTHER SURFACES SUCH AS CONCRETE AT BRICK.
6. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF THE SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPES 1 THROUGH 4.
7. DIMENSIONS SHOWN ON THE TABLES ARE FOR 4, 6, OR 8 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON THE CROSS SLOPES SHOWN.
8. ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

ADA ACCESSIBLE SIDEWALK AND CURB RAMPS
NTS

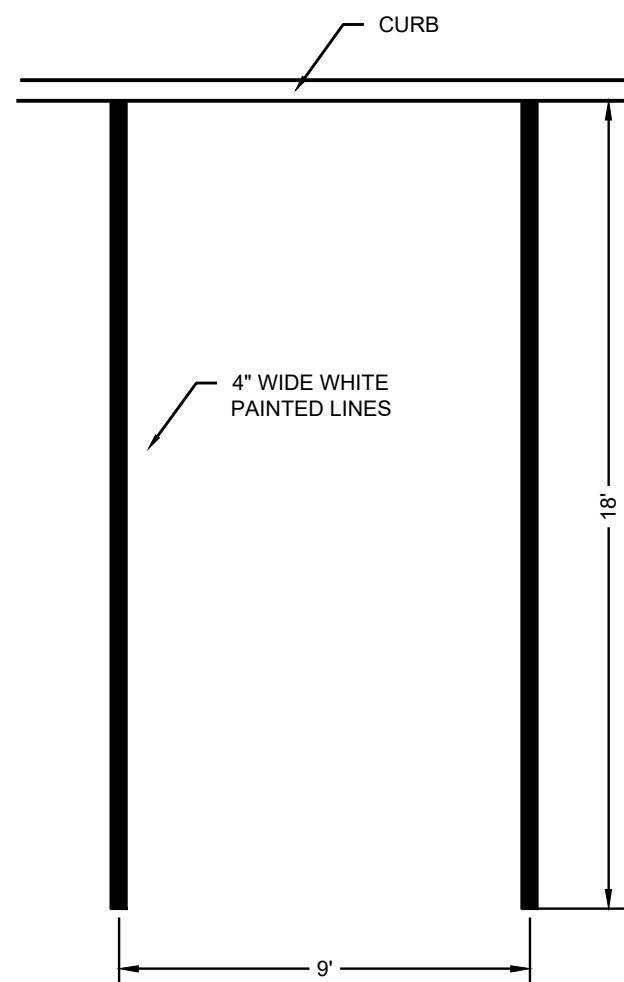


NOTES:

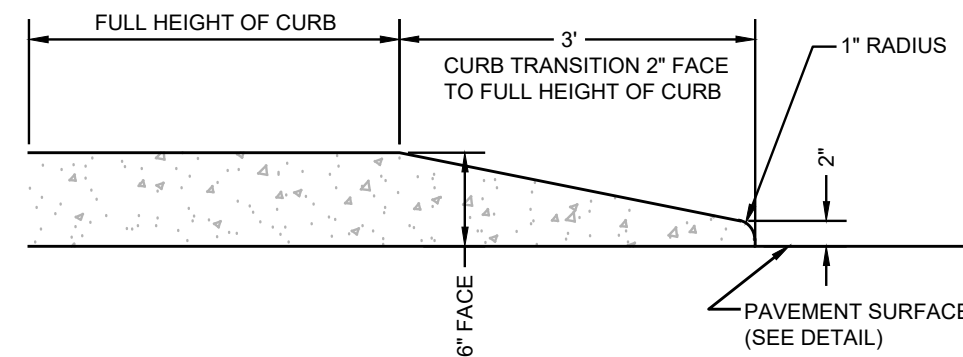
1. ALL SIGNS SHALL BE MINIMUM 18 GAUGE STEEL WITH BAKED ON ENAMEL FINISH. PROVIDE WITH PRE-PUNCHED MOUNTING HOLES.
2. POSTS: 2" STEEL U-CHANNEL BREAKAWAY POST.
3. SIGNS AND POSTS SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE AND MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN POST
NTS

SEE SHEET C101 FOR PLAN NOTES

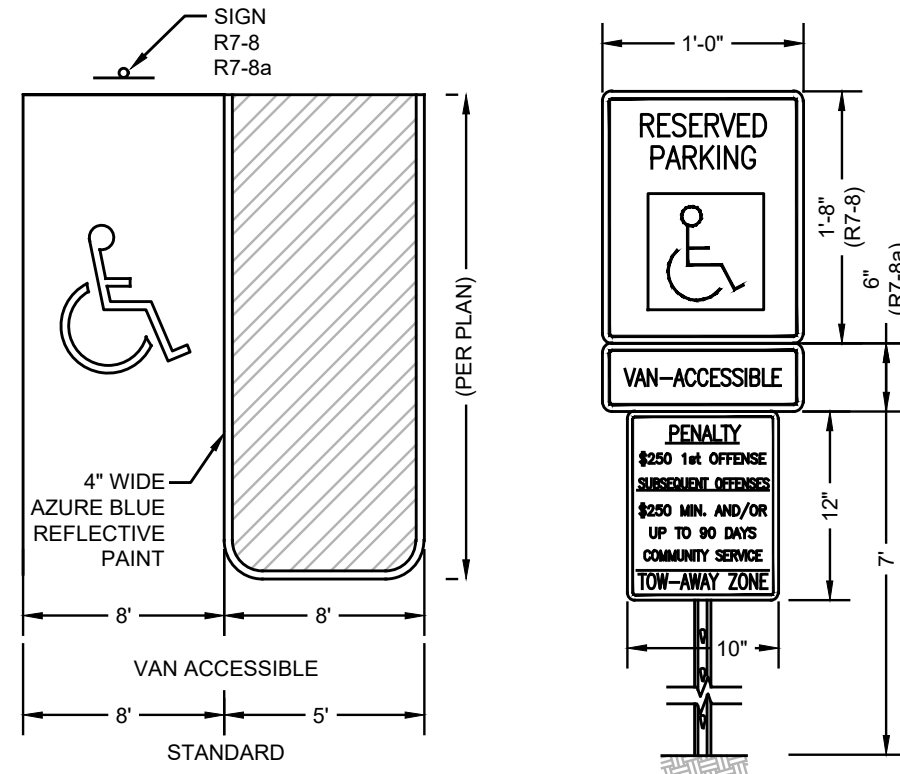


PARKING STRIPING
NTS

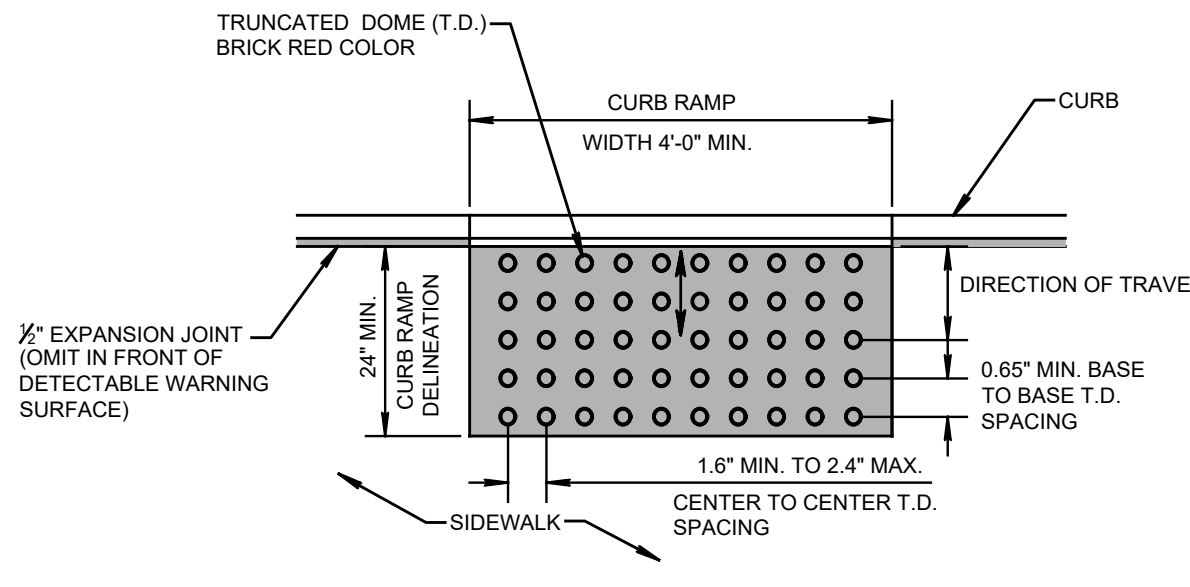


TRANSITION CONCRETE CURB
NTS

- NOTES:
1. CONCRETE TO BE NJDOT CLASS "B", 4,500 PSI (AIR ENTRAINED).



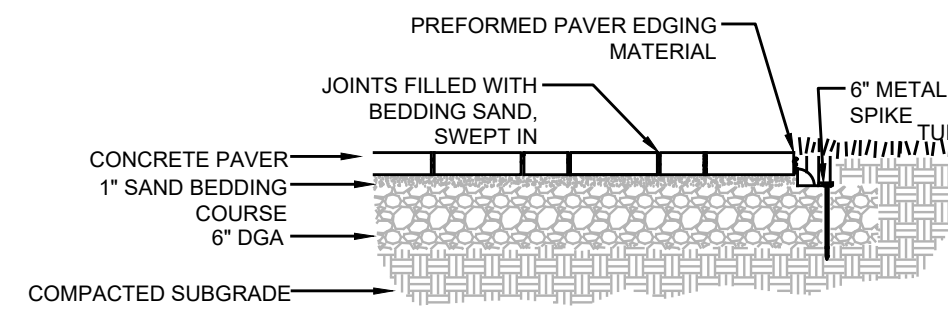
ACCESSIBLE PARKING STALL
NTS



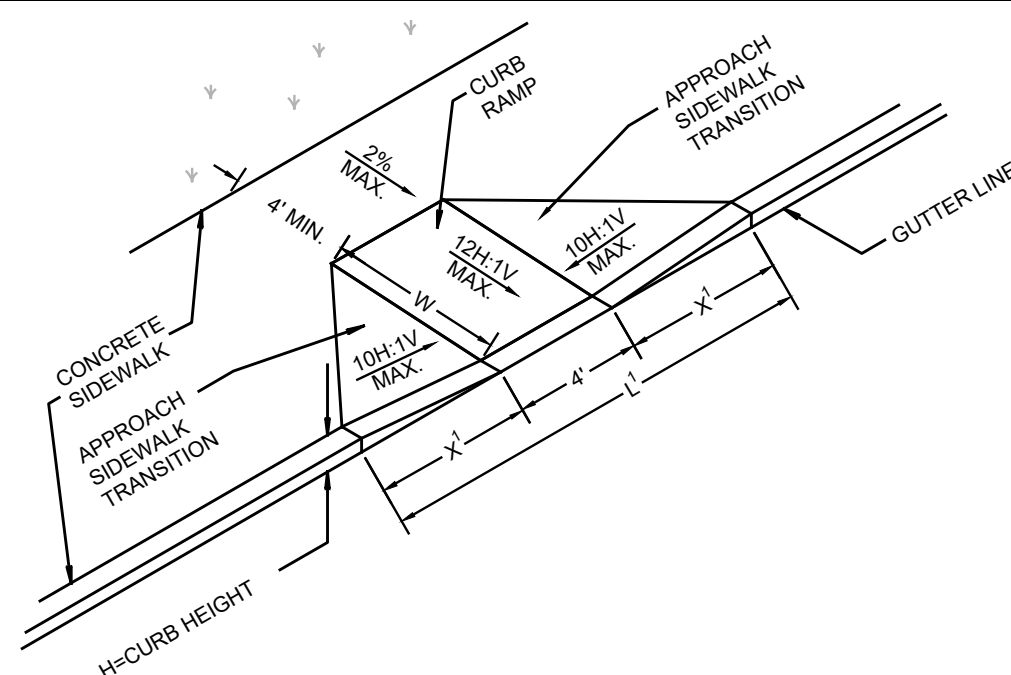
NOTE:

CONTRACTOR SHALL PROVIDE A DETECTABLE WARNING SURFACE SUBMITTAL TO PROJECT ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

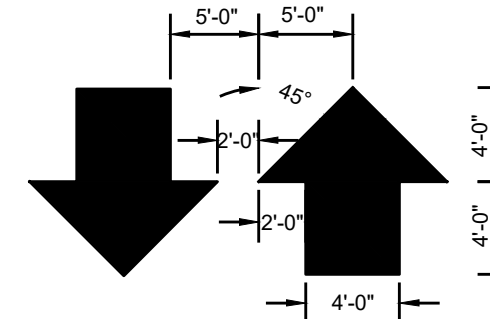
DETECTABLE WARNING SURFACE
NTS



CONCRETE PAVER DRIVEWAY
NTS

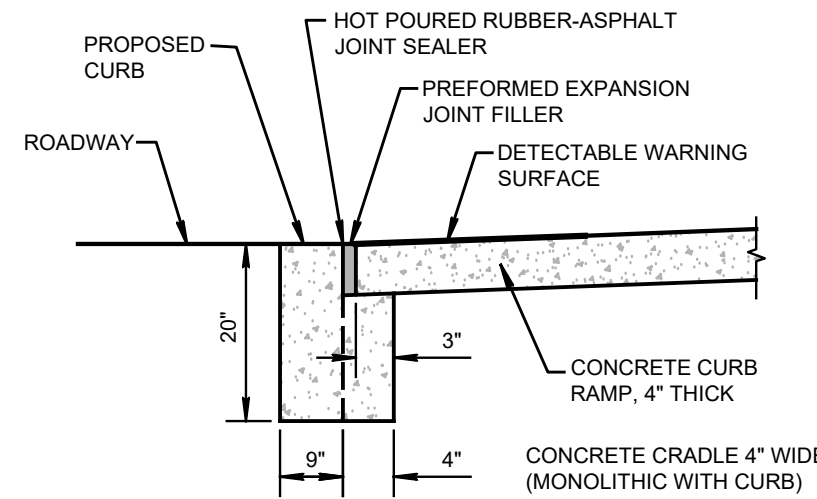


CURB RAMP TYPE 1
NTS



- NOTE:
1. ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
 2. THESE ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.

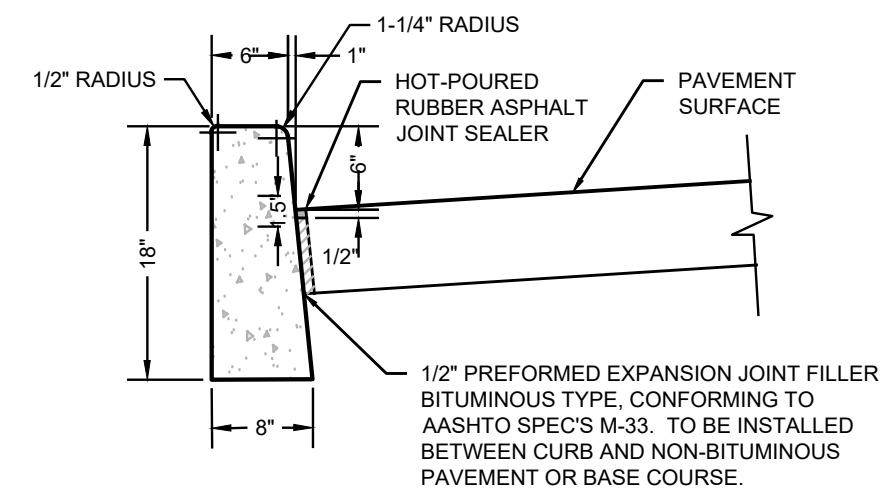
TRAFFIC ARROW PAVEMENT MARKINGS
NTS



NOTES:

1. IN LIEU OF THE ABOVE DETAIL, CURB AND SIDEWALK RAMP MAY BE POURED MONOLITHICALLY AS APPROVED BY THE ENGINEER.
2. ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

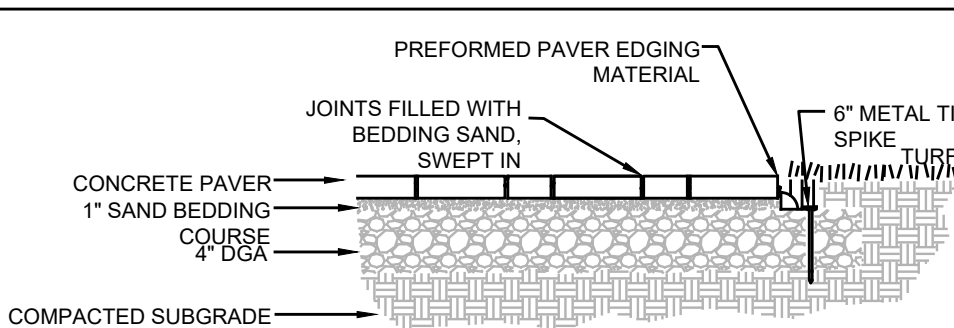
DROPPED CURB AND CRADLE
NOT TO SCALE



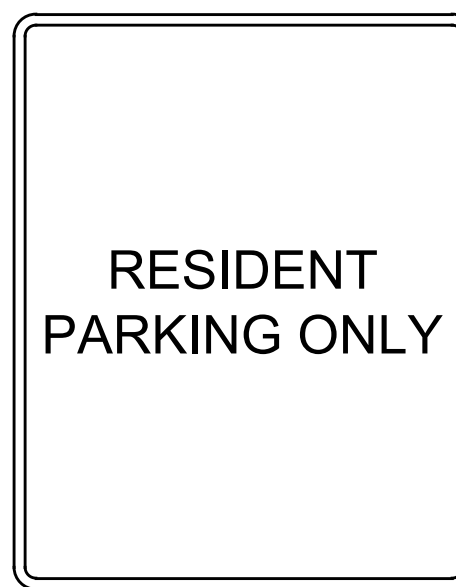
NOTES:

1. CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' - 0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".
5. CURB SHALL BE SAW CUT TO THE NEAREST JOINT TO AIDE IN THE BLENDING OF NEWLY CONSTRUCTED CURB WITH EXISTING CURB.

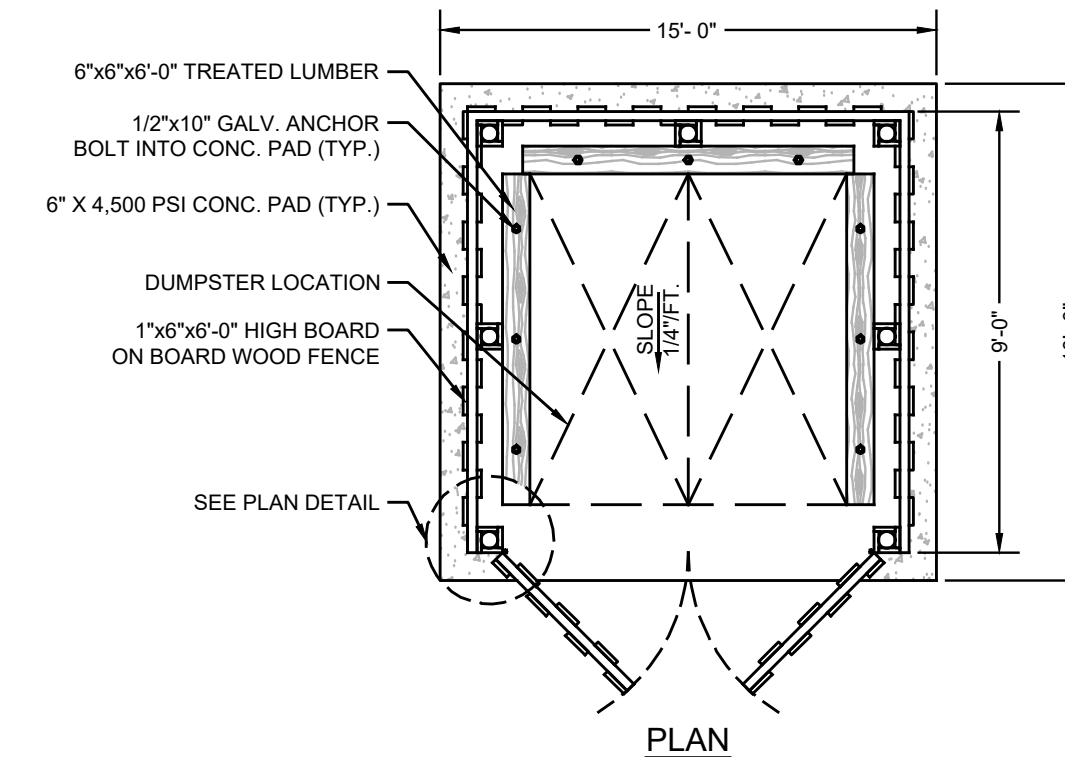
CONCRETE VERTICAL CURB
NTS



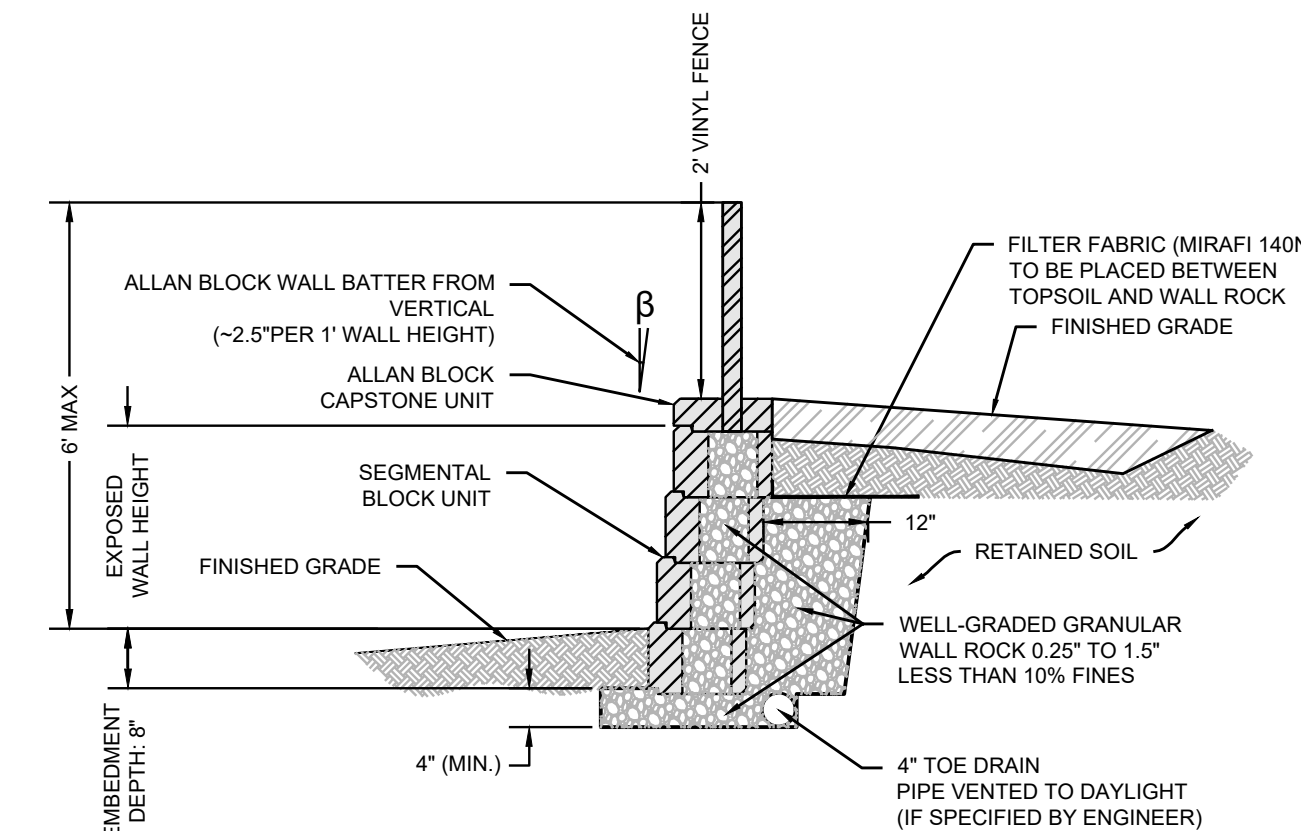
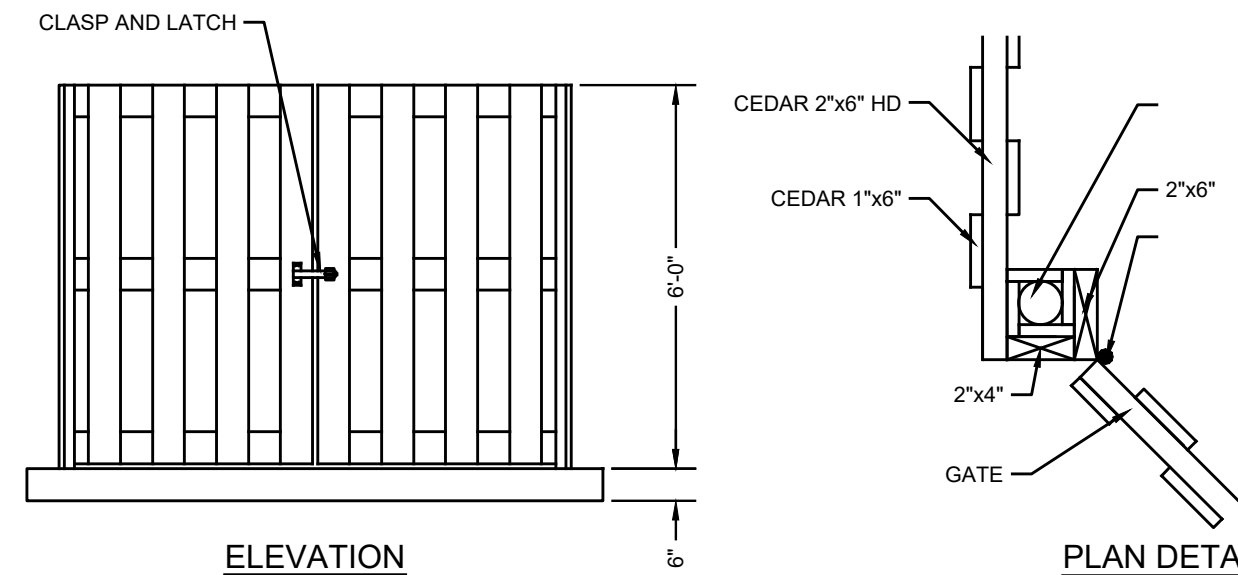
CONCRETE PAVER WALKWAY
NTS



RESIDENT PARKING ONLY SIGN
NTS



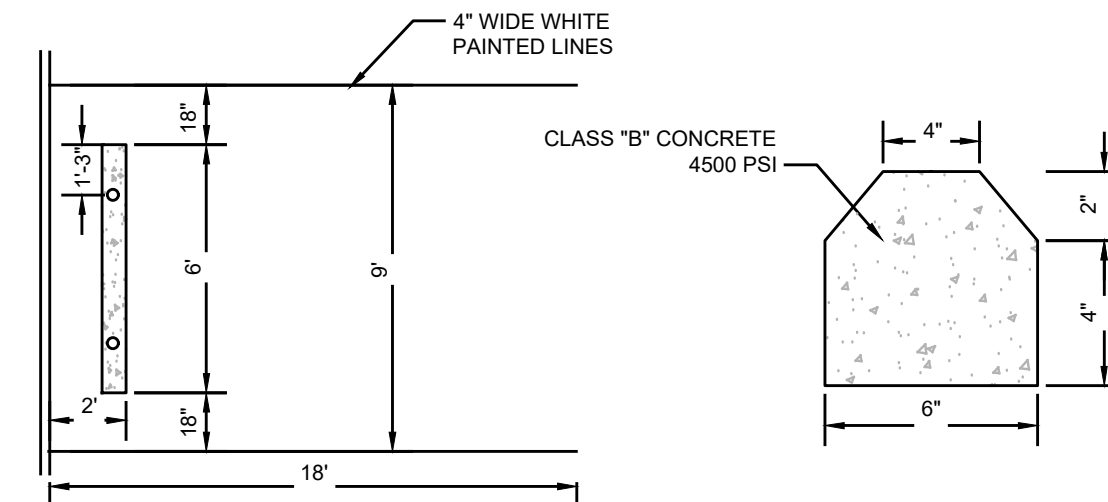
BOARD ON BOARD DUMPSTER PAD ENCLOSURE
NTS



NOTES:

1. CONTRACTOR TO PROVIDE ALLAN BLOCK WALL MATERIAL SUBMITTAL TO PROJECT ENGINEER FOR APPROVAL PRIOR TO PURCHASE.
2. WALL DESIGN BASED UPON NO SURCHARGE LOADING AND NOT IN A SATURATED CONDITION.
3. SUBGRADE CONDITIONS AND COMPACTION SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION OF THE WALL.

RETAINING WALL WITH VINYL FENCE
NTS
(NOT FOR CONSTRUCTION)



PRECAST CONCRETE WHEEL STOP
NTS

PROJECT INFORMATION

PROJECT NAME:

PROPOSED
MIXED-USE
BUILDING

PROJECT LOCATION:

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

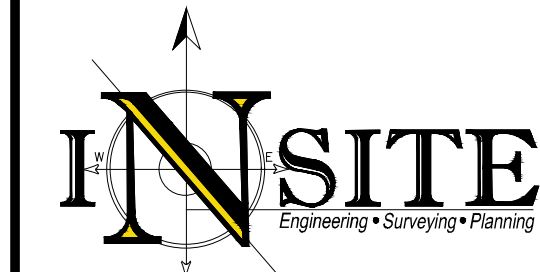
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NJ PE 24GE05331000

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JOB #: 25-2462-02 CHECKED BY: DDC

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FOR CONSTRUCTION

PLAN INFORMATION

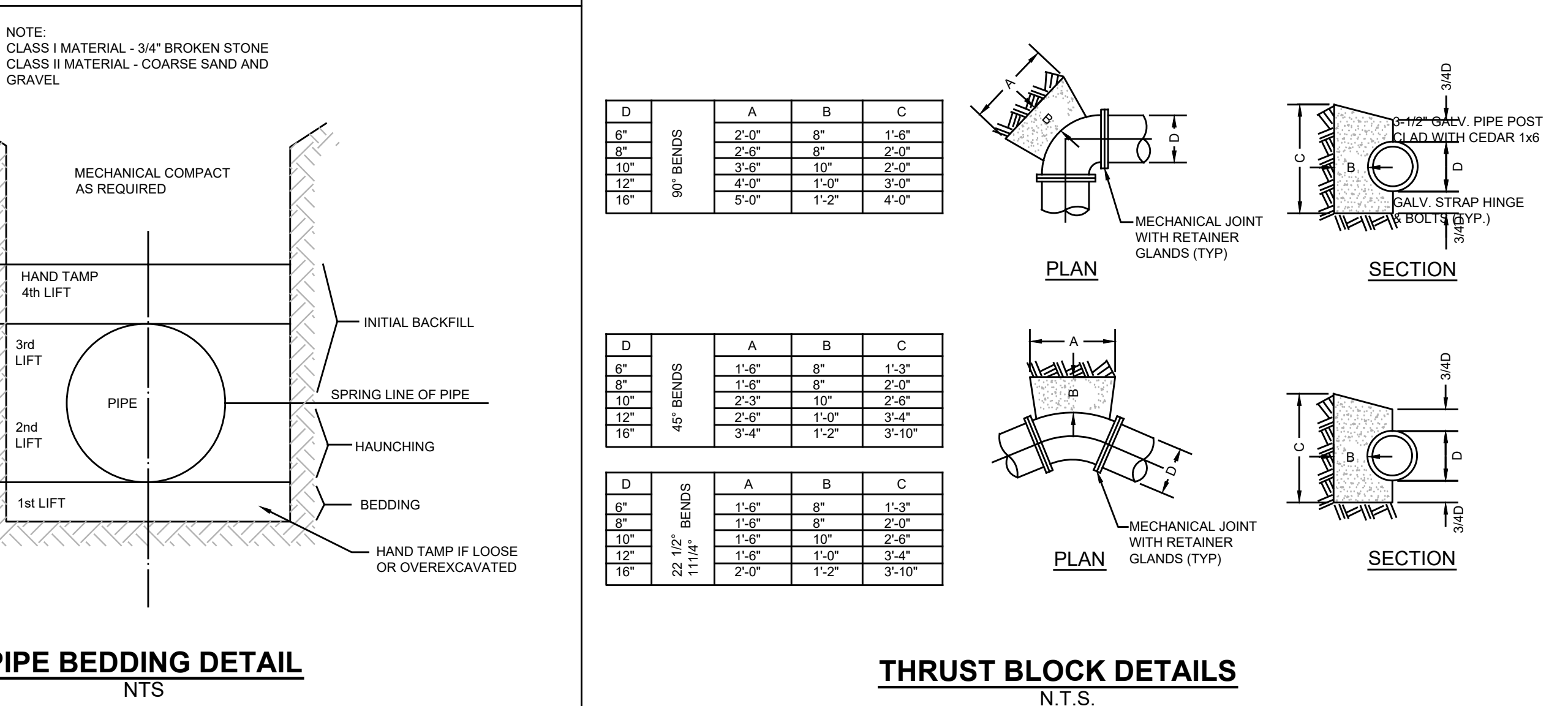
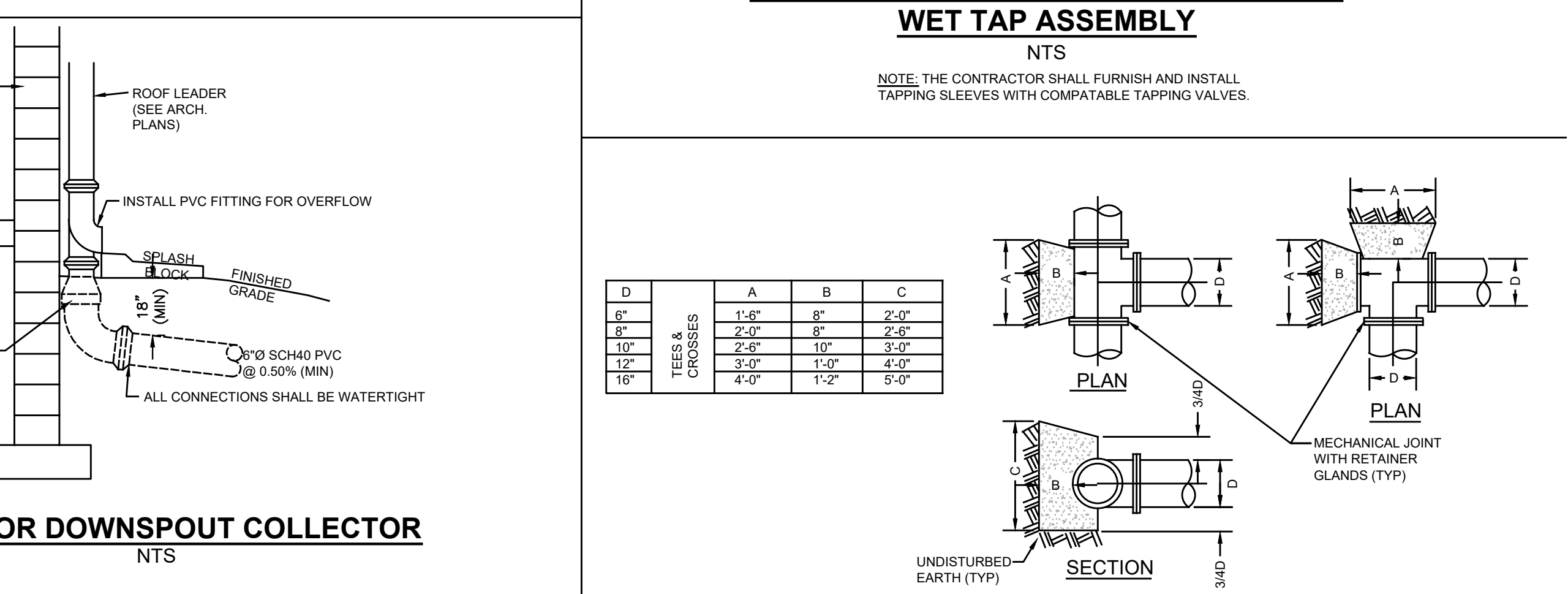
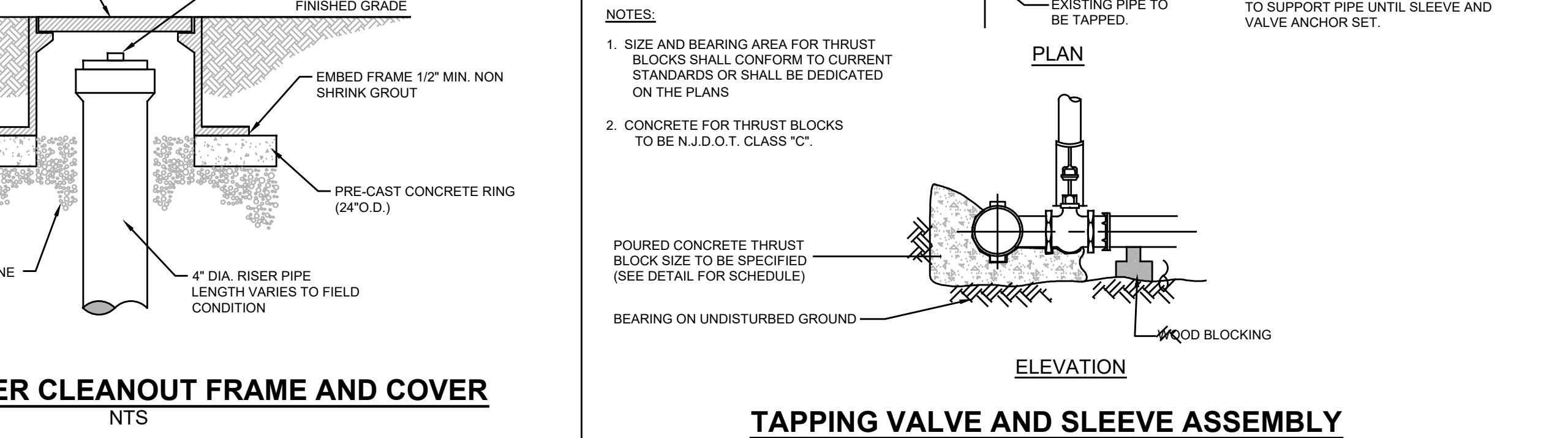
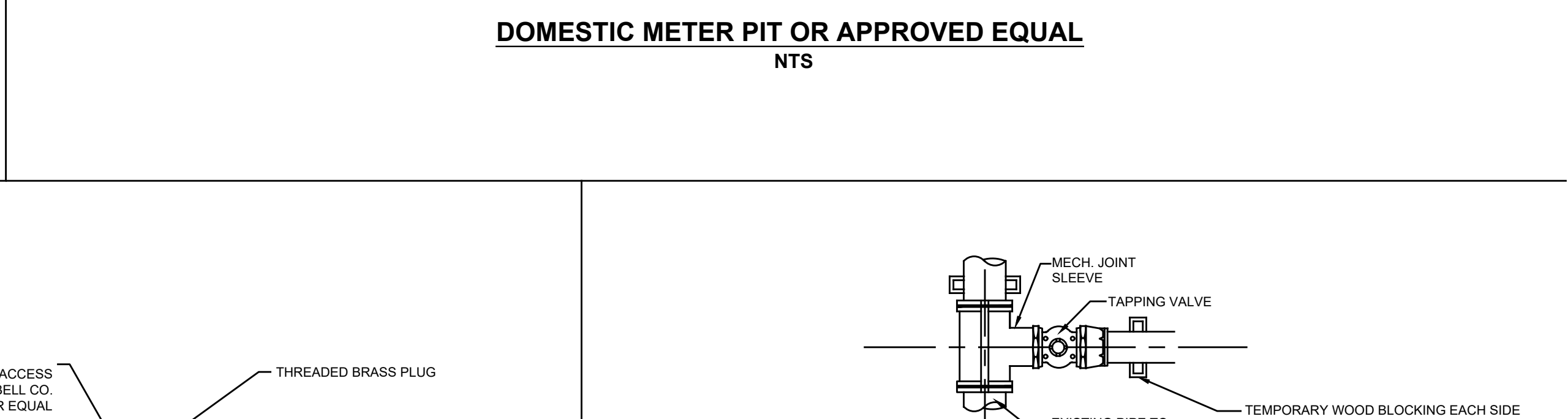
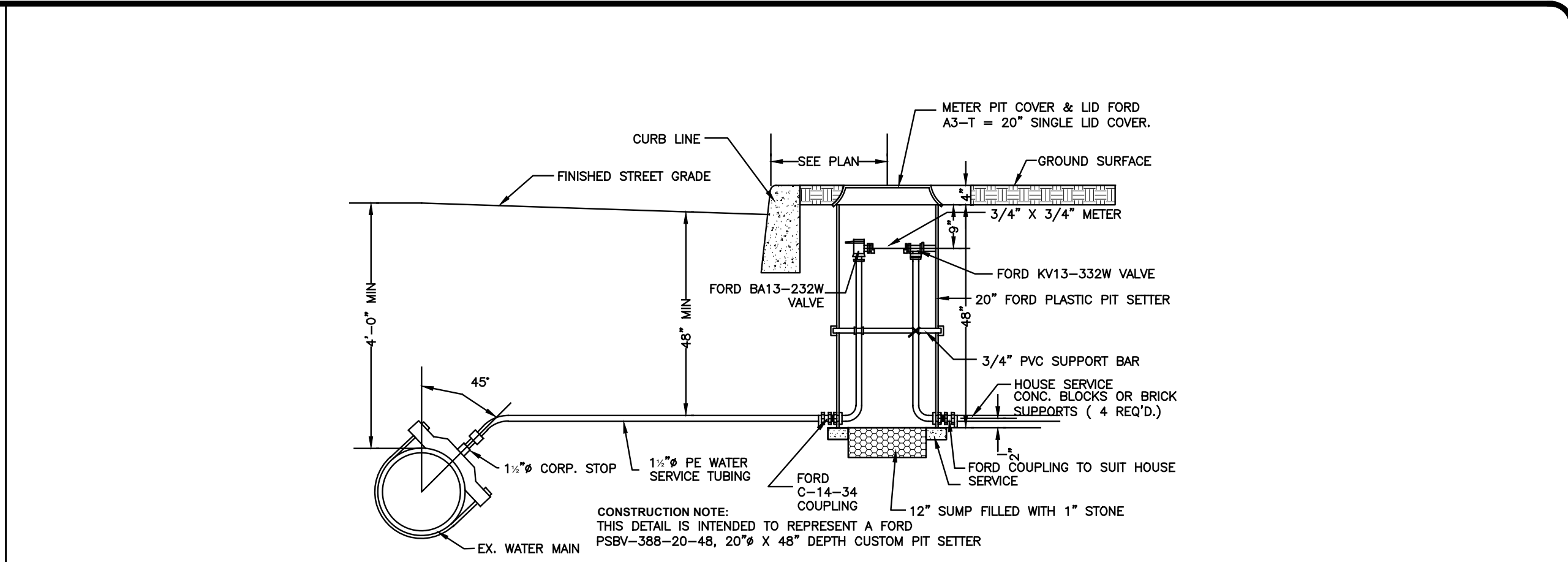
PRELIMINARY & FINAL
MAJOR SITE PLAN




SHEET TITLE:

CONSTRUCTION
DETAILS

SHEET NO.

C700



PROJECT INFORMATION		
<u>PROJECT NAME:</u> PROPOSED MIXED-USE BUILDING		
<u>PROJECT LOCATION:</u> BLOCK 8.17, LOT 15 12010 LONG BEACH BOULEVARD. LONG BEACH TOWNSHIP, OCEAN COUNTY, NJ		
<u>OWNER:</u> LSH HOLDINGS LLC 28 RODEO DRIVE WEST CREEK, NJ 08092		
<u>APPLICANT:</u> LSH HOLDINGS LLC 28 RODEO DRIVE WEST CREEK, NJ 08092		
APPLICANT'S PROFESSIONALS		
<u>ARCHITECT:</u> HAND LINE ARCHITECT 128 BARTLETT AVENUE, WEST CREEK, NJ 08092		
<u>SURVEYOR:</u> GRAVATT CONSULTING GROUP 414 LACEY ROAD FORKED RIVER, NJ 08731		
<u>ATTORNEY:</u> RABAN & RABAN 11710 LONG BEACH BLVD. LONG BEACH TOWNSHIP, NJ 08008		
		
CALL BEFORE YOU DIG! NJ ONE CALL.....800-272-1000 <small>(At least 2 business days before start)</small>		
 InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 <input type="checkbox"/> 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 <input type="checkbox"/> 165 CHESTNUT STREET, SUITE 200, ALLENDALE, NJ 07401 <input type="checkbox"/> 20 N. MAIN STREET, SUITE 2B, MANAHAWKIN, NJ 08050 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net		
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 DOUGLAS D. CLELAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000		
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<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION		
APPROVED BY _____		
FOR CONSTRUCTION _____		
PLAN INFORMATION		
<u>DRAWING TITLE:</u> PRELIMINARY & FINAL MAJOR SITE PLAN		
<u>SHEET TITLE:</u> CONSTRUCTION DETAILS		
<u>SHEET NO.:</u> C701		

File: X:\data\3462 - 85 Pre Construction\3462-2462-02 - 12010 Long Beach Boulevard Long Beach Township, NJ\254602020\Wg\0300 SESS.dwg, --> C800 SESS
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SCALE : 1" = 10'

LEGEND

EXISTING	PROPOSED

SEE SHEET C101 FOR PLAN NOTES

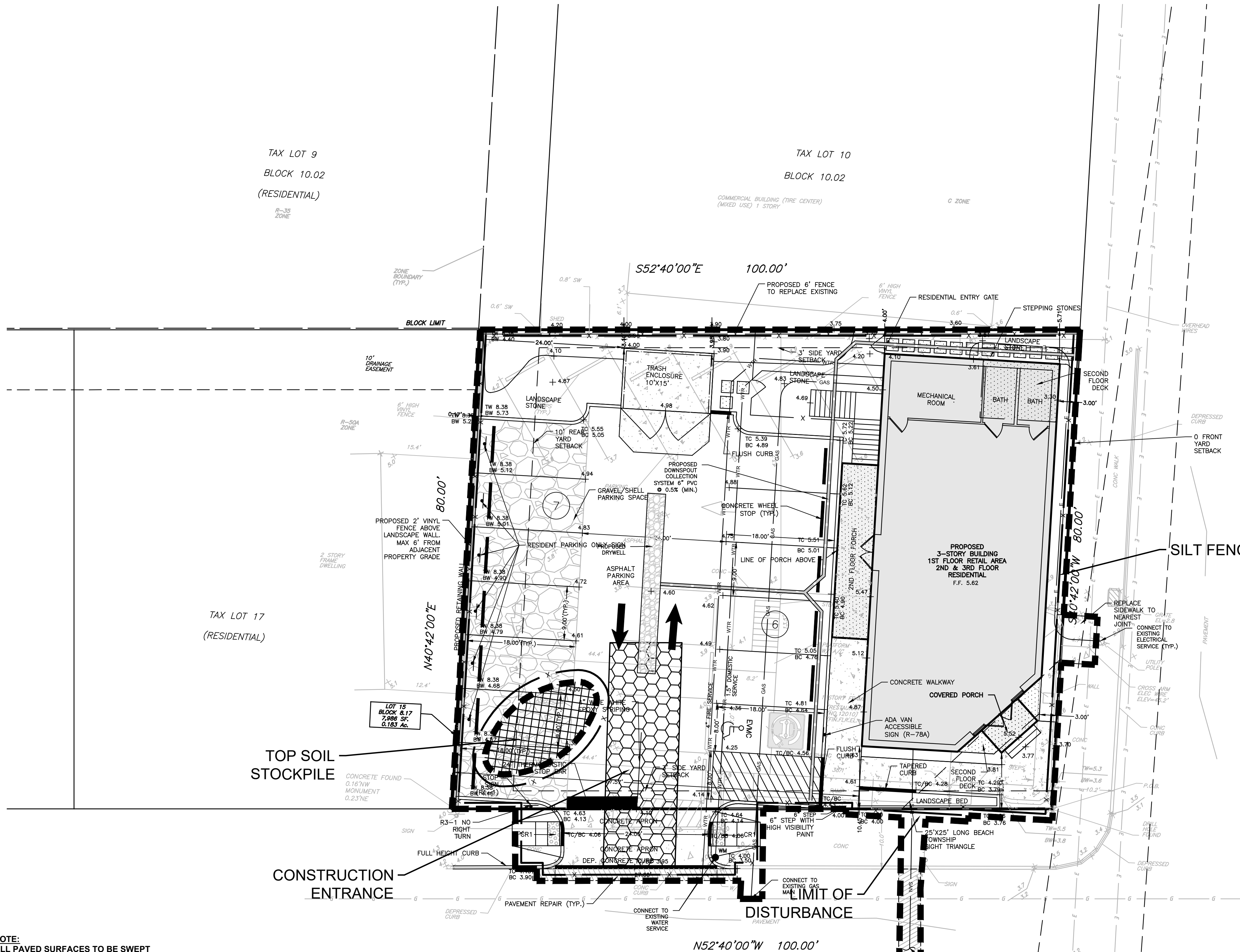
SOIL EROSION LEGEND

CONSTRUCTION / SPPP NOTE

THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

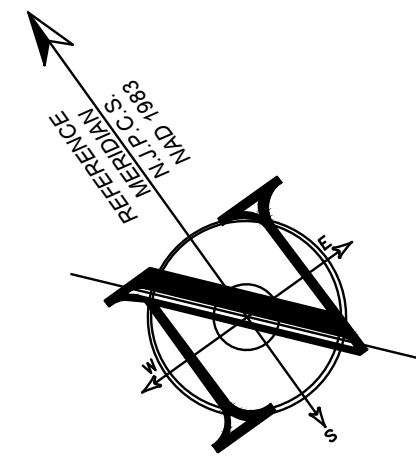
PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.19 AC.



LONG BEACH BOULEVARD
(AKA COUNTY ROAD ROUTE 607)
(100' R.O.W. F.M. & T.M.)

MACEVOY LANE WEST (50' R.O.W.)
(FORMERLY DUNE LANE)



PROJECT INFORMATION

PROJECT NAME:

PROPOSED MIXED-USE BUILDING

PROJECT LOCATION:

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD,
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

ARCHITECT:

HAND LINE ARCHITECT
128 BARTLETT AVENUE,
WEST CREEK, NJ 08092

SURVEYOR:

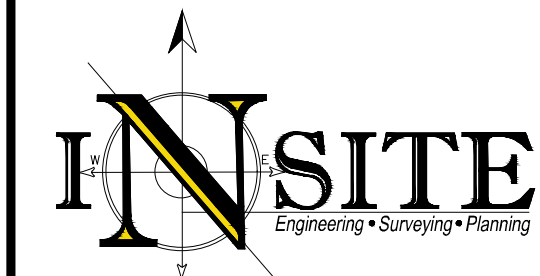
GRAVATT CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:

RABAN & RABAN
11710 LONG BEACH BLVD
LONG BEACH TOWNSHIP, NJ 08098



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NJ ONE CALL - 800-272-1000
(or local 7 days prior to excavation)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLENTOWN, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWK, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)
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Douglas D. Clelland

DOUGLAS D. CLELLAND, PE

PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev.#	Date	Comment
1	08/26/25	PER NEW ORDINANCE
2	08/26/25	PER TOWNSHIP COMMENTS
3	08/26/25	INITIAL RELEASE

SCALE: 1"=10'

DATE: 06/12/25

DESIGNED BY: JMW

DRAWN BY: M-S

CHECKED BY: DDC

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL

MAJOR SITE PLAN

SHEET TITLE:

SOIL EROSION AND

SEDIMENT CONTROL PLAN

SHEET NO.:

C800

SOIL EROSION AND SEDIMENT CONTROL NOTES

OSCEO SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE DISTRICT INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, JANUARY 2014, REVISED JULY 2017. (SESC STANDARDS) ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SESC STANDARDS.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT. THESE REVISED PLANS MUST MEET ALL CURRENT SESC STANDARDS. STANDARDS: [HTTP://WWW.STATE.NJ.US/AGRICULTURE/DIVISIONS/ANR/NOEROSION.HTML](http://www.state.nj.us/agriculture/divisions/anr/nonerosion.html).
- N.J.S.A.42A-39-07 SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THERE HAS BEEN COMPLIANCE WITH PROVISIONS OF A CERTIFIED PLAN FOR PERMANENT MEASURES, ALL SITE WORK, AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS. MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL WITHIN 14 DAYS. AT A RATE OF 2 TO 2.5 TONS PER ACRE AND ANCHORED IN PLACE ACCORDING TO THE SESC STANDARD FOR STABILIZATION WITH MULCH ONLY. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 TO 2 TONS PER ACRE AND ANCHORED IN PLACE ACCORDING TO THE SESC STANDARDS.
- A SUB-BASE COVER WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF PERMANENT UTILITIES TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- ANY STEEP SLOPES (5:1 OR GREATER) OR ANY EXISTING ROADWAYS RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES.
- THE SESC STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD USING CLEAN, CRUSHED, ANGULAR STONE (ASTM C-33), SIZE NO. 2 OR 3 AT ALL CONSTRUCTION DRIVEWAYS WHERE VEHICLES WILL ACCESS PAVED ROADWAYS FROM UNPAVED AREAS OF THE SITE.
- PERMANENT VEGETATION IS TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. AT THE TIME OF THE FINAL INSPECTION, YOU ARE REQUIRED TO PROVIDE CONFIRMATION THAT THE PROPER TYPE AND AMOUNT OF SEED, LIME AND FERTILIZER HAVE BEEN USED FOR PERMANENT STABILIZATION WORK. STRAW MULCH PROPERLY ANCHORED IN PLACE IS REQUIRED ON ALL SEEDING IN ACCORDANCE WITH THE SESC STANDARDS.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL COMPOSITION AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE SESC STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL, HAVING A PH OF 5.0 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. CONDUIT OUTLET PROTECTION INSTALLATION SHALL BE POSTPONED IN BASINS ACTING AS SEDIMENT BASINS DURING CONSTRUCTION.
- UNFILTERED Dewatering IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY Dewatering METHODS USED MUST BE IN ACCORDANCE WITH THE SESC STANDARD FOR Dewatering.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE APPLIED AND ANCHORED IN PLACE, OR OTHER DUST CONTROL METHOD SHALL BE EMPLOYED AS REQUIRED BY THE SESC STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. ALL STOCKPILING MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF AN AMENDED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
- ALL SOIL STOCKPILED WITH A SEDIMENT BARRIER AND STABILIZED IN ACCORDANCE WITH THE SESC STANDARDS. STOCKPILES SHOULD BE SITUATED SO AS TO NOT OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
- THE PROPERTY OWNER IS RESPONSIBLE FOR ANY DISPROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEEDBED PREPARATION

- APPLY GROUNDED LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION, SOIL, SAMPLE MALERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMEING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
- SOILS HIGH IN SULFIDES OR HAVING A PH OF 4.0 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

3. SEEDING

- TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.
SEEDING DATES: 2/15-5/1 AND 8/15-10/15
- CONVENTIONAL SEEDING, APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO A PREPARED SEEDBED. MULCH SHOULD NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TO TRAVEL OR TO TRAVEL OR TO TRAVEL.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- STRAW OR HAY, UNROTATED SMALL, GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION, SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

- PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
- CRIMPER (MULCH ANCHORING TOOL, A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVELABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

- LIQUID MULCH-BINDERS. - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET OF 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDBED AREAS WHERE WEEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION

- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL, SAMPLE MALERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES DEEP. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- HIGH ACID PRODUCING SOILS, SOILS HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL, HAVING A PH OF 5.0 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING

(ZONE 6B)

- SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

SEED MIXTURE #13 FOR LAWN AREAS

PLANTING RATE
LBS/1,000 (LBS/ACRE)

HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE
PERENNIAL RYEGRASS
KENTucky BLUEGRASS (BLENDED)

"ACCEPTABLE SEEDING DATES: 3/1-4/30 AND 5/1-8/14"

"OPTIMAL SEEDING DATES: 8/15-10/15"

"SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED"

SEED MIXTURE #7 FOR BASIN, SIDE SLOPES, AND SWALES

PLANTING RATE
LBS/1,000 (LBS/ACRE)

STRONG CREEPING RED FESCUE
KENTucky BLUEGRASS

PERENNIAL RYEGRASS
OR REDTOP

PLUS WHITE CLOVER

"ACCEPTABLE SEEDING DATES: 3/1-4/30 AND 5/1-8/14"

"OPTIMAL SEEDING DATES: 8/15-10/15"

"SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED"

- SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDBED AREA AND MOVED ONCE.

- WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

- COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 80 F. MANY GRASSES BECOME ACTIVE AT 60°F. SEE TABLE 4-3 MIXTURES 8-20. ADJUSTMENT OF PLANTING RATE COMPENSATES FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.

- CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

- HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO A PREPARED SEEDBED. MULCH SHOULD NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL, WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- STRAW OR HAY, UNROTATED SMALL, GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

- PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
- CRIMPER (MULCH ANCHORING COULTER TOOL, A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVELABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET OF 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDBED AREAS WHERE WEEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY) UNTIL VEGETATION IS WELL ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

6. TOP DRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED INSTEAD OF SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOWUP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL. TOP DRESSING MAY BE DEVELOPED BY THE PROJECT MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER, PELLETED MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDBED SPECIES) AND MOVED ONCE. NOTE: THIS DESIGNATION OF MOVED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF. SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

STANDARD FOR DUST CONTROL

DEFINITION

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

WATER QUALITY ENHANCEMENT

SEDIMENTS DEPOSITED AS DUST ARE OFTEN FINE COLLOIDAL MATERIAL, WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER - SEE STANDARD FOR

TEMPORARY VEGETATIVE COVER, PG. 7-1.
PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1, AND
PERMANENT STABILIZATION WITH SOIL, PG. 6-1

SPRAY ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ADJULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEING PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACES ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

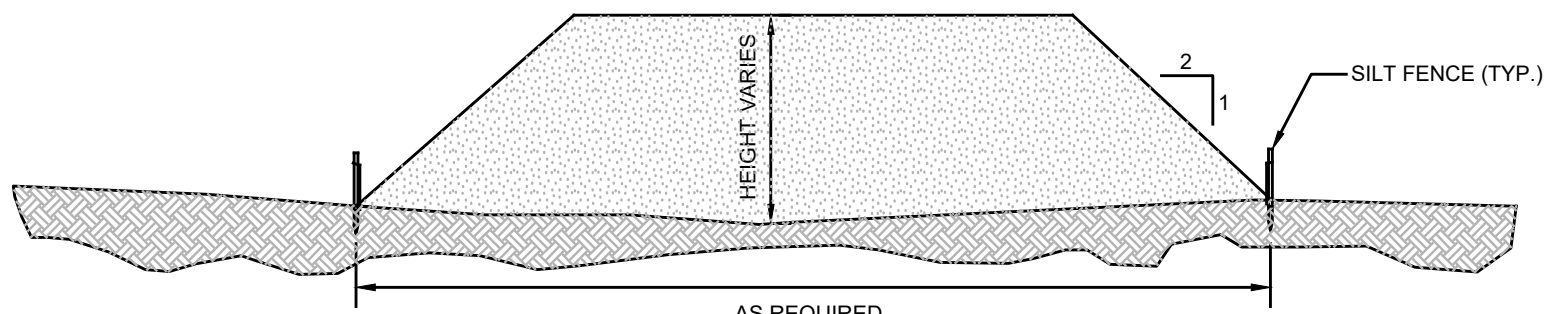
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL FLOWING.

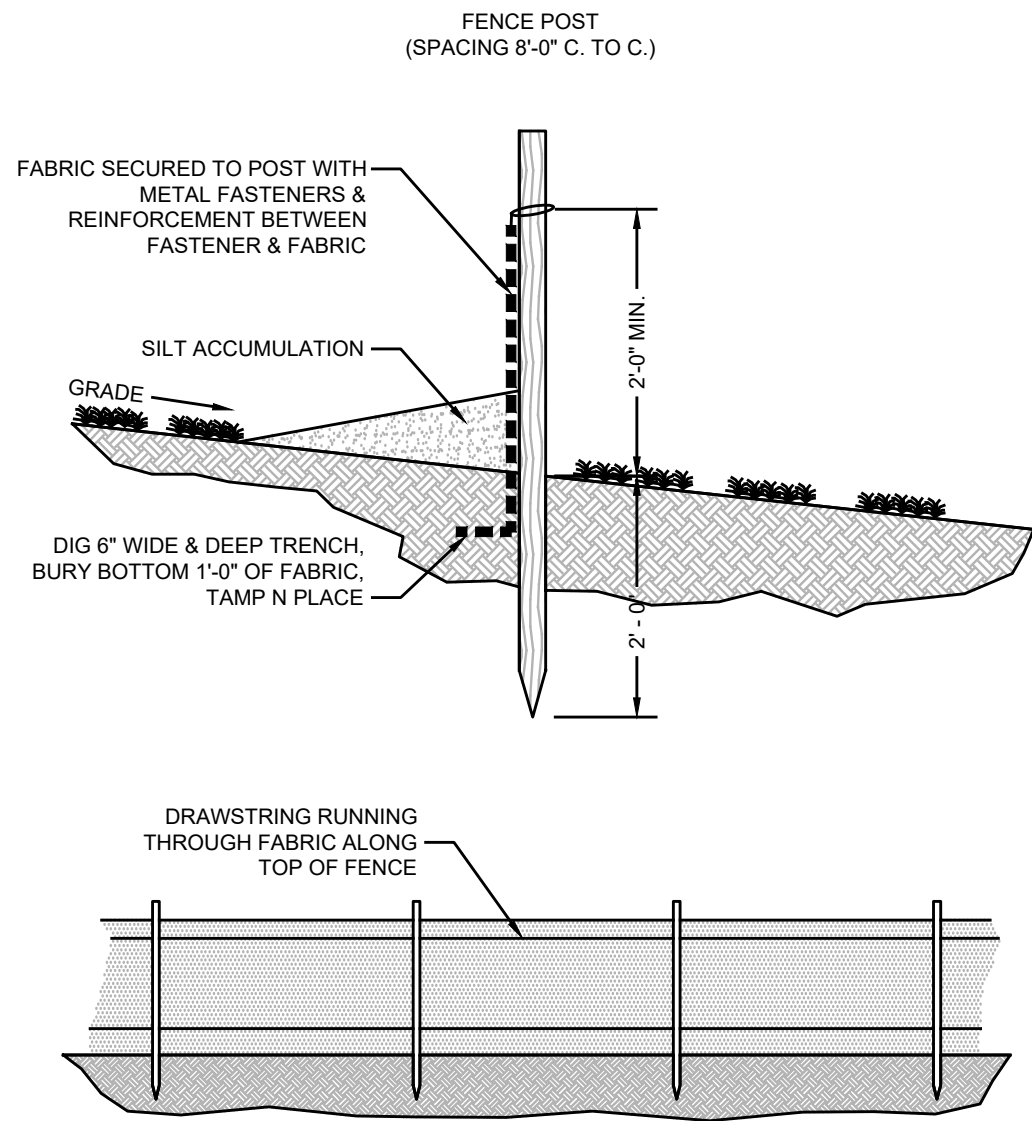
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEEL THROUGH CLOTHED USE SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IS USED ON STEEPER SLOPES USED OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

SLOPE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR STABILIZATION WITH MULCH



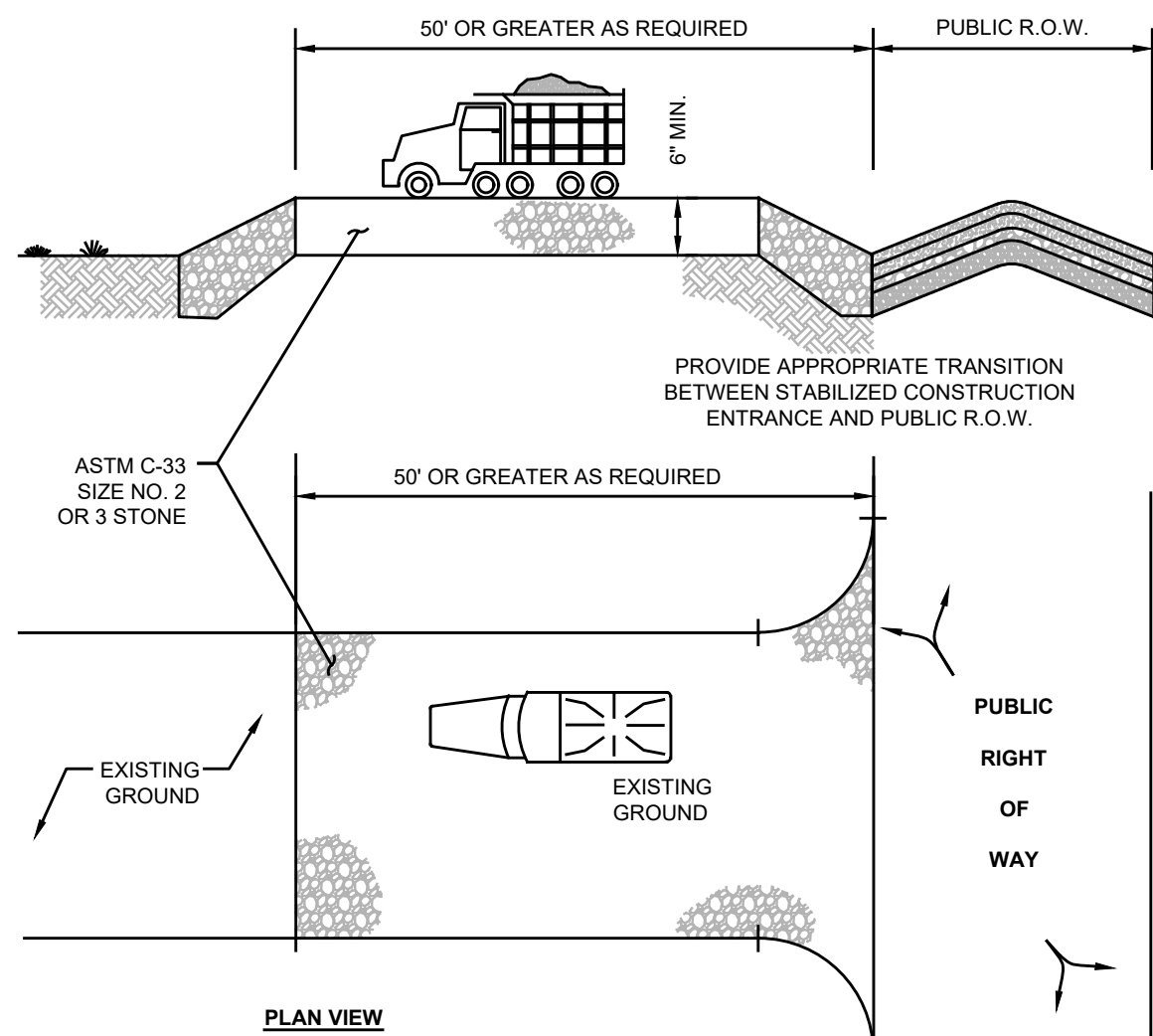
SECTION THROUGH SOIL STOCKPILE (TYP.)
NTS



SILT FENCE DETAIL
NTS

SEDIMENT BARRIER MAINTENANCE

1. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
2. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
3. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DETERIORATION AND SEDIMENT REMOVAL.

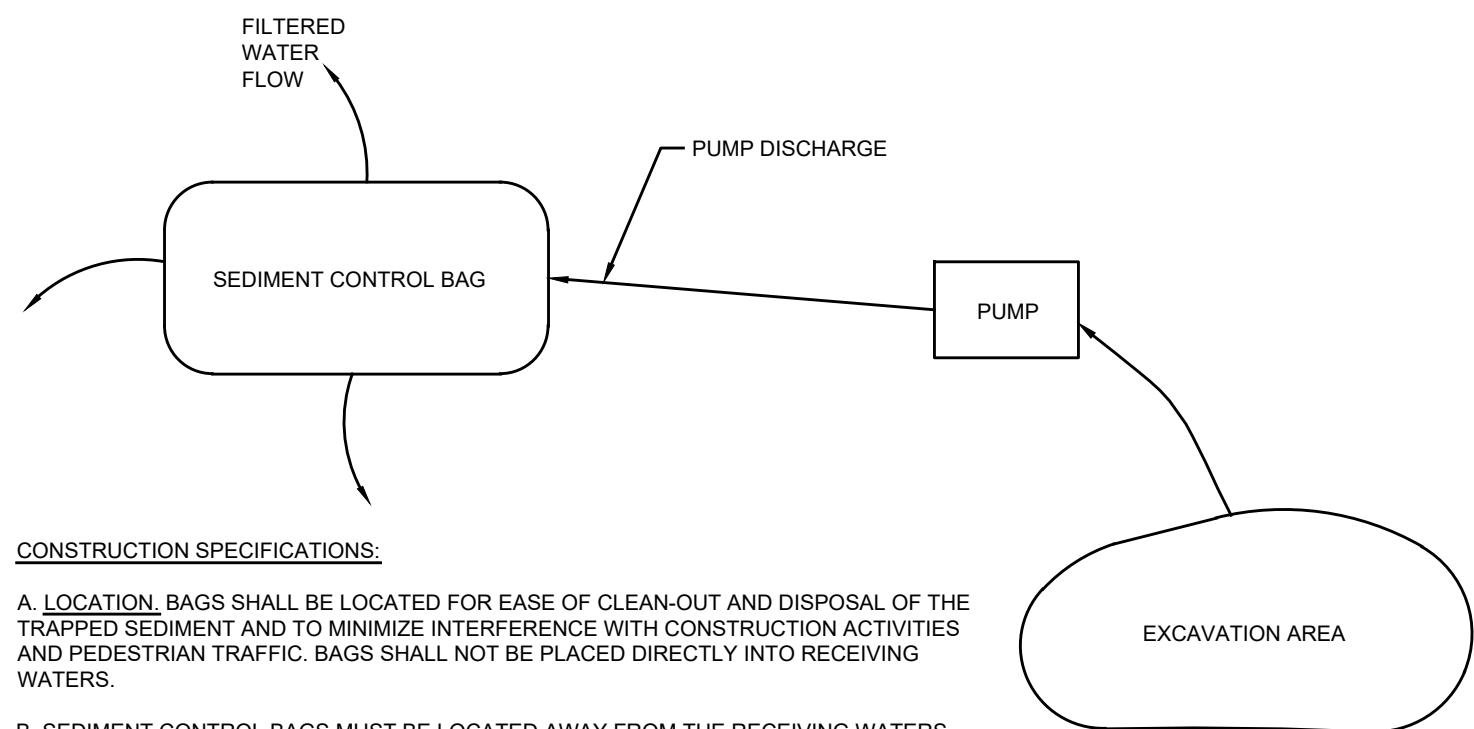


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE, MIX 1-2	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

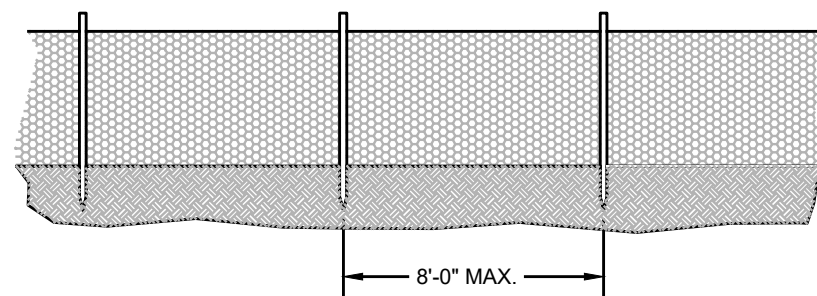
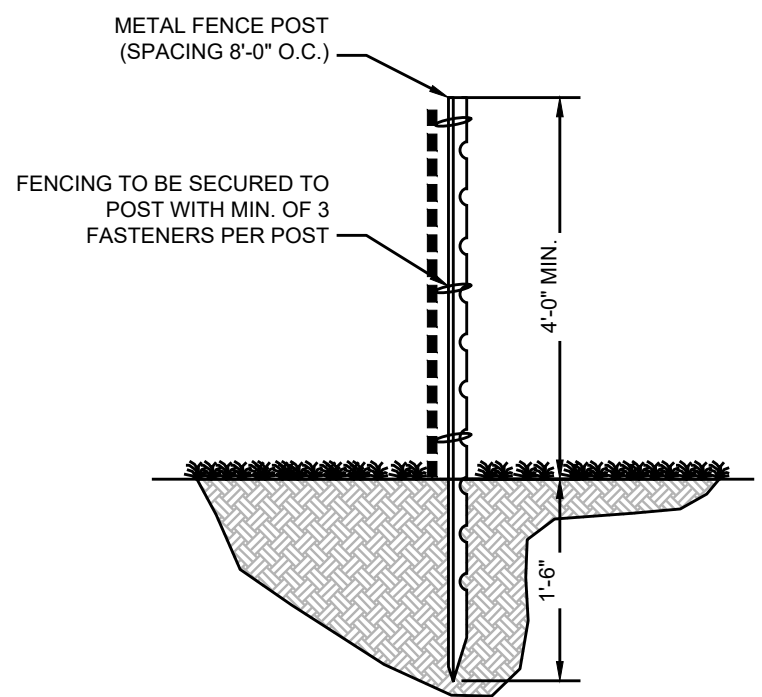


CONSTRUCTION SPECIFICATIONS:

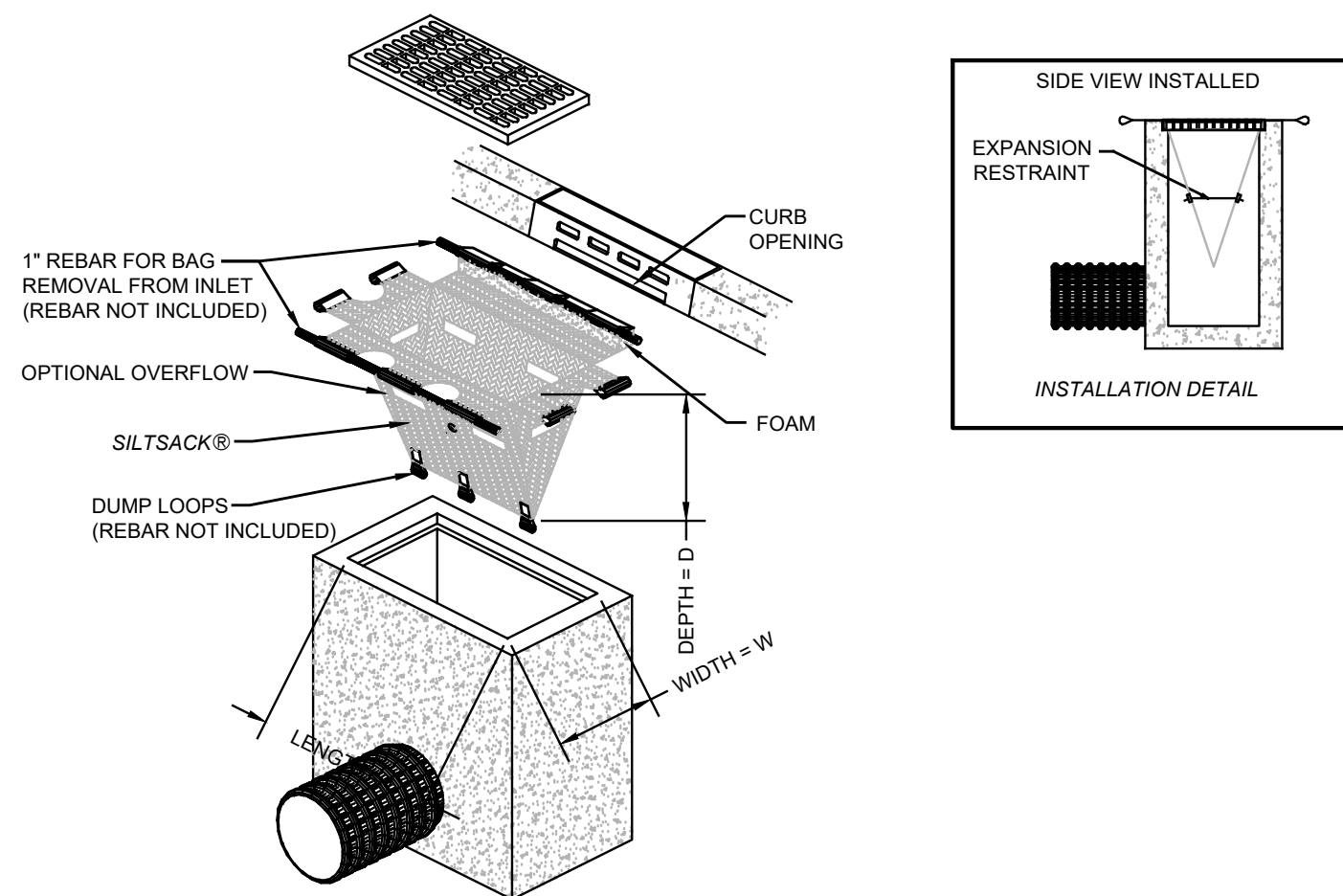
A. LOCATION: BAGS SHALL BE LOCATED FOR EASE OF CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND PEDESTRIAN TRAFFIC. BAGS SHALL NOT BE PLACED DIRECTLY INTO RECEIVING WATERS.

B. SEDIMENT CONTROL BAGS MUST BE LOCATED AWAY FROM THE RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES, AND DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

SEDIMENT CONTROL BAG FOR DEWATERING
NOT TO SCALE



TREE PROTECTION FENCING
NTS



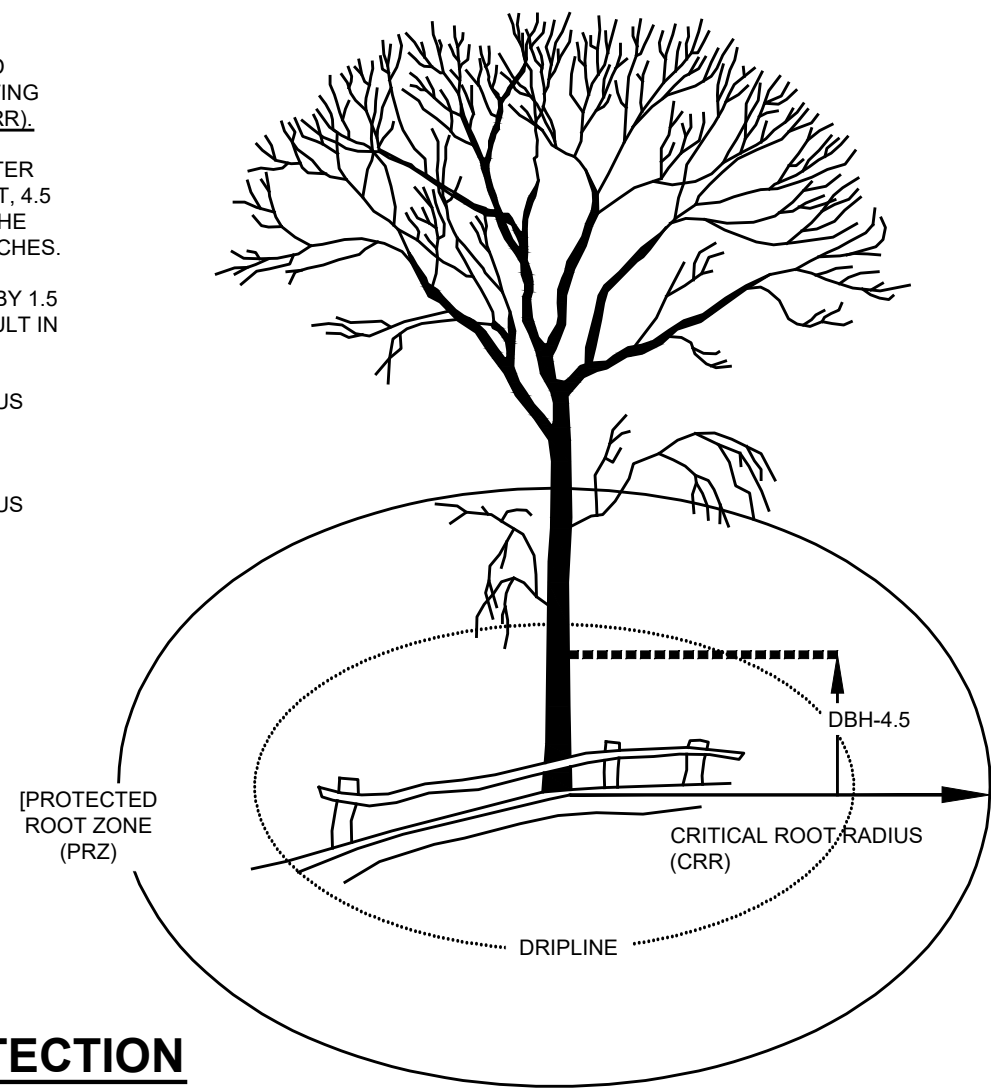
INLET PROTECTION DETAIL
NTS

ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

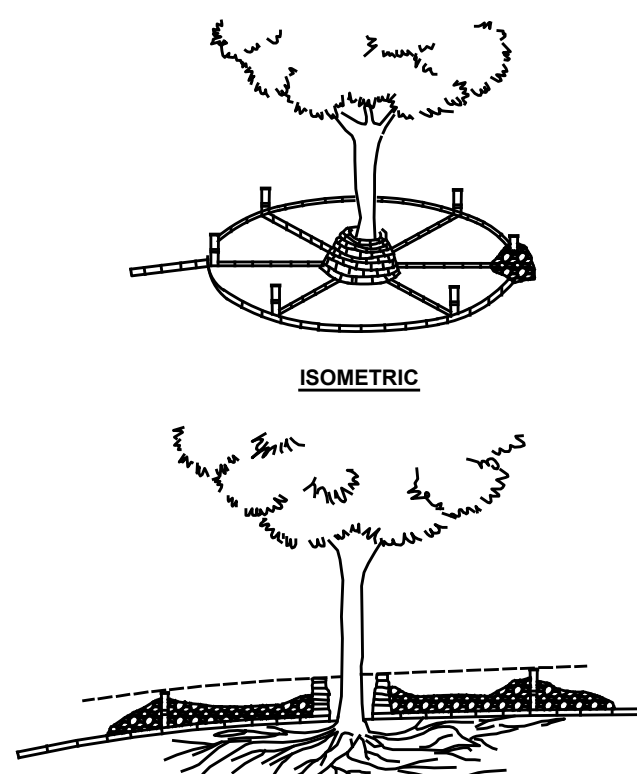
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.

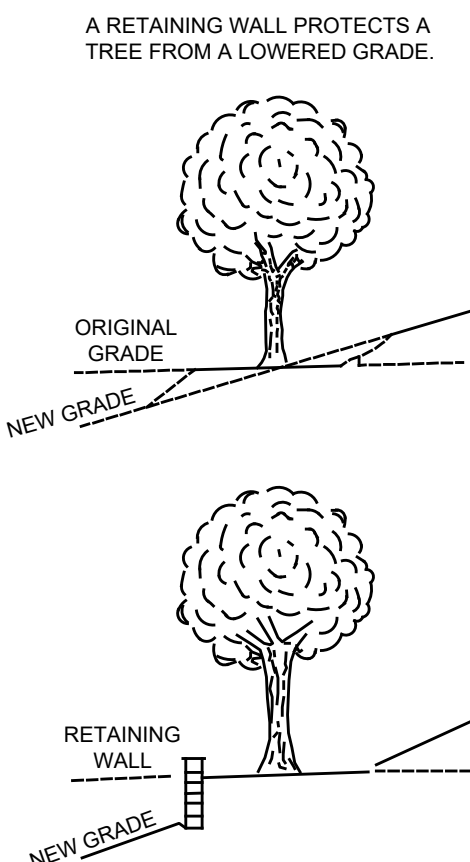
DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



TREE ROOT PROTECTION
NTS



TREE PROTECTION
(FILL AREAS)
NTS



TREE PROTECTION
(CUT AREAS)
NTS

PROJECT INFORMATION

PROJECT NAME:

**PROPOSED
MIXED-USE
BUILDING**

PROJECT LOCATION:

BLOCK 8.17, LOT 15
12010 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP,
OCEAN COUNTY, NJ

OWNER:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT:

LSH HOLDINGS LLC
28 RODEO DRIVE
WEST CREEK, NJ 08092

APPLICANT'S PROFESSIONALS

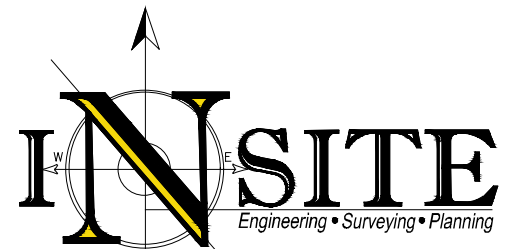
ARCHITECT:
HAND LINE ARCHITECT
128 BARTLETT AVENUE,
WEST CREEK, NJ 08092

SURVEYOR:
GRAVATT CONSULTING GROUP
414 LACEY ROAD
FORKED RIVER, NJ 08731

ATTORNEY:
RABAN & RABAN
11710 LONG BEACH BLVD
LONG BEACH TOWNSHIP, NJ 08008



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(at least 3 days prior to excavation)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

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165 CHESTNUT STREET, SUITE 200,
ALLENDALE, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev.#	Date	Comment
1	06/12/25	INITIAL RELEASE
2	06/12/25	PER TOWNSHIP COMMENTS
3	06/12/25	PER NEW ORDINANCE

SCALE: AS SHOWN	DESIGNED BY: JMW
DATE: 06/12/25	DRAWN BY: M-S
JOB #: 25-2462-02	CHECKED BY: DDC

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL
MAJOR SITE PLAN

SHEET TITLE:

SOIL EROSION &
SEDIMENT CONTROL
DETAILS

SHEET NO.

C802