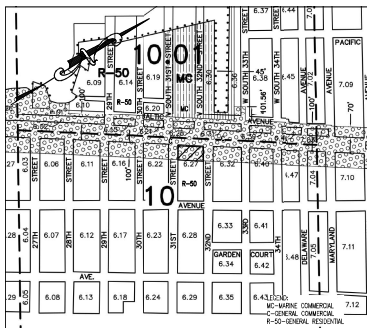
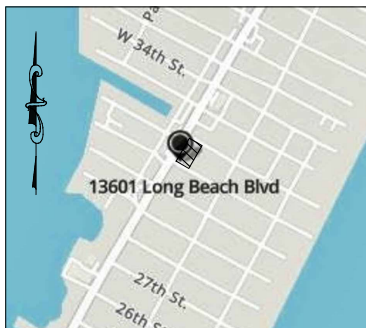


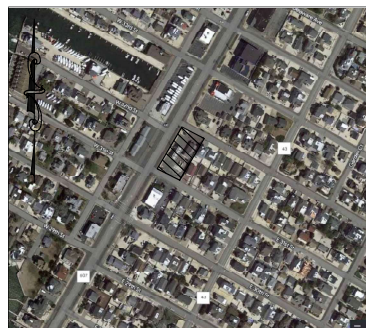
PRELIMINARY/FINAL SITE PLANS FOR HSR COMPANY INC 13601 LONG BEACH BOULEVARD LONG BEACH TOWNSHIP OCEAN COUNTY NEW JERSEY



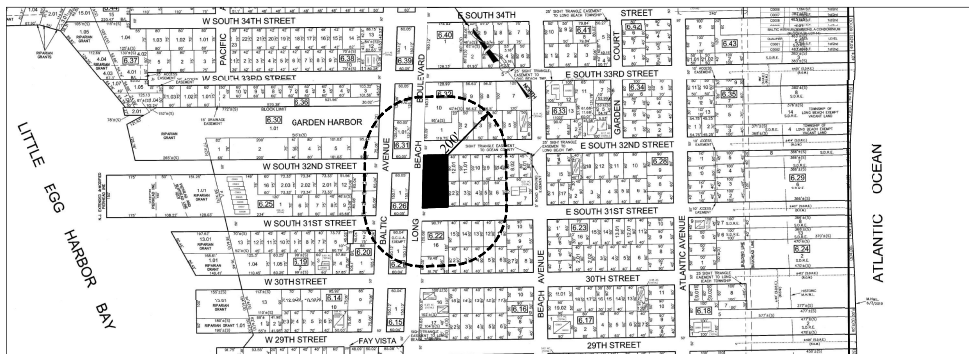
ZONING MAP
SCALE: 1" = 400'



LOCATION MAP
SCALE: 1" = 400'



AERIAL MAP
SCALE: 1" = 200'



TAX MAP
SCALE: 1" = 200'

- DRAWING INDEX:**
1. COVER SHEET
 2. NOTES
 3. SITE PLAN
 4. EXISTING CONDITIONS - DEMOLITION PLAN
 5. GRADING & DRAINAGE PLAN
 6. UTILITY PLAN
 7. DETAIL SHEET
 8. DETAIL SHEET
- SESC PLANS**
1. SITE PLAN
 2. DETAIL SHEET

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HSR COMPANY INC.
15 CENTER DRIVE
BURLINGTON, NJ 08016

Project Region
570-653-7770

REVISIONS		DATE
NO.	DESCRIPTION	DATE
1	ISSUED FOR COUNTY ADMINISTRATION	02/23/21
2	ISSUED FOR CLIENT SUBMITTAL	02/23/21
3	ISSUED FOR CLIENT SUBMITTAL	02/23/21
4	ISSUED FOR CLIENT SUBMITTAL	02/23/21
5	ISSUED FOR CLIENT SUBMITTAL	02/23/21
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9	ISSUED FOR CLIENT SUBMITTAL	02/23/21
10	ISSUED FOR CLIENT SUBMITTAL	02/23/21

811

BEFORE YOU DIG ANYWHERE IN
NEW JERSEY CALL 1-800-251-1100

KEVIN H. FRUCK
PROFESSIONAL ENGINEER
PROJECT NO. 21-023
NEW JERSEY REG. NO. 21-023

PROJECT LOCATION

LOT 6-27 BLOCK 10
13601 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP
OCEAN COUNTY
NEW JERSEY 08008

TITLE

COVER SHEET

PRG. #	21-070	DATE	06-15-2021
CAD. DR.	21-070	DSN. BY	KHF
SCALE	AS NOTED	CHK. BY	KHF

SHEET 1 OF 8

GENERAL NOTES

- 1. REFERENCES TO CONSULTING CONTRACTORS ENGINEERS & DESIGN SERVICES INC IN THESE NOTES AND IN THE PLAN SET MAY BE REFERRED TO IN ABBREVIATED FORM AS CONSULTING. REFERENCE TO THE PROFESSIONAL OF RECORD MAY BE EITHER THE ARCHITECT OR RECORDOR OR ENGINEER OF RECORD FOR A PARTICULAR DISCIPLINE.
2. EACH CONTRACTOR OR SUBCONTRACTOR SHALL ENSURE THEY HAVE A COMPLETE SET OF DOCUMENTS TO BID AND CONTRACT. PLAN & CONTRACTOR SHOULD AMEND ANY PART OF THE PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT THEIR SUB-CONSULTANTS AND SUB-CONTRACTORS HAVE ALL PROJECT INFORMATION INCLUDING THESE NOTES.
3. THE CONSTRUCTION MANAGER, OR THE CONTRACTOR RESPONSIBLE FOR MULTIPLE PORTIONS OF THE PROJECT SHALL ENSURE THEY HAVE ALL PLANS SETS AVAILABLE TO THE PROJECT. THESE PLANS HAVE BEEN PREPARED FOR THE SCOPE, PHASE AND OTHER SETS MAY HAVE BEEN DEVELOPED FOR OTHER DISCIPLINES OR OTHER PORTIONS OF THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS AND ORDERS OF THE LOCAL GOVERNING AGENCY.
12. CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO INSTALL THE IMPROVEMENTS ON THESE PLANS, INCLUDING BUT NOT LIMITED TO: LABOR, MATERIALS, EQUIPMENT, WATER, RENTALS, DISPOSAL, QUALITY WORKMANSHIP OF IMPROVEMENTS AND REPAIRS, SOILING, SCHEDULING, SCHEDULING, SCHEDULING AND MATERIALS, CLEAN UP, TESTING, SOIL SURVEY, SIGNAGE, FENCING, TRAFFIC MANAGEMENT AND TRAFFIC CONTROL.
13. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
14. ALL EXISTING SURVEY ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR MESSAGING PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID FOR SUCH VERIFICATION HAS NOT BEEN FIELD.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
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SAFETY NOTES

- 1. CONSULTOR AND THE PROFESSIONAL OF RECORD ARE NOT RESPONSIBLE FOR JOB SITE SAFETY, SAFETY INCIDENTS OR SUPERVISION. THE CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND REQUIREMENTS. TO ENSURE THE SAFETY OF THE PUBLIC AND TO ENSURE THE INTEGRITY OF THE SITE AND ANY DISTINGUISHING FEATURES TO REMAIN, AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SECURE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORKING REQUIRED DURING EXISTENCE AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE SAFETY OF CONSTRUCTION STRUCTURES, AS FIELD CONDITIONS DICTATE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
5. WHEN CONSTRUCTION ACTIVITIES NEARLY EXISTING UTILITIES AND EXISTING UTILITIES, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERAL ACCEPTED SAFETY PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION MANUAL ON TEMPORARY TRAFFIC CONTROL (MUTCD) AND FEDERAL, STATE AND LOCAL PRACTICES, REGULATIONS, AND REQUIREMENTS.

INSPECTION NOTES

- 1. IT SHALL BE THE CONTRACTOR RESPONSIBILITY TO DETERMINE THE NECESSARILY FOR THE PROJECT. AS A MINIMUM, THE CONTRACTOR SHALL PROVIDE THE INSPECTION ENTITY WITH A MINIMUM OF TWO BUSINESS DAYS NOTICE FOR SCHEDULING OF INSPECTIONS, OR AT OTHER TIMES AS THE INSPECTION ENTITY APPROVAL, OR AS OTHERWISE AGREED. INSPECTIONS SHALL BE BY INSPECTION IF COMPLETED WITH A PHONE CALL. THE CONTRACTOR SHALL RETURN A WRITTEN REPORT OF THE RESULTS, TO BE SUPPLIED TO THE OWNER IF REQUESTED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPALITY AND ANY OTHER PERTINENT AGENCIES WHERE A PRE-CONSTRUCTION MEETING IS A REQUIREMENT.
3. THE CONTRACTOR SHALL NOTIFY ANY SUB-CONTRACTOR REGARDING ALL APPLICABLE STATE, OR FEDERAL, LOCAL, AND HOME STATES ON-SITE OR RECENTLY AVAILABLE IF REQUESTED.
4. THE PRESENCE OF SOMEBODY ON SITE DOES NOT REMOVE THE OBLIGATION OF THE CONTRACTOR TO DIRECTLY CONDUCT INSPECTIONS WITH THE GOVERNING BODY.
5. SHOULD THE PROJECT NEED ANY CRITICAL SLOPE INSPECTION AS A PART OF THE WORK PROGRAM, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO SCHEDULE THE SITE REVIEW WITH THE APPROPRIATE STATE PROFESSIONAL AT THE SPECIFIC SITES. REFER TO THE FORM PLANS FOR THE CRITICAL SLOPE REVIEW. CONSULTING CANNOT SIGN OFF ON THE WRITTEN NOTICE OF SUBMITTAL NOTIF IF THE CRITICAL SLOPE REVIEWERS ARE NOT CONTACTED. ANY ADDITIONAL SERVICES OR RE-CONSTRUCTION RESULTING FROM THE CONTRACTORS LACK OF SCHEDULING SHALL BE AT THE CONTRACTORS COST.

CONTRACTOR SUBMITTALS & REQUESTS FOR INFORMATION

- 1. ALL SUB CONTRACTORS OR SUBMITTALS PROVIDED TO THE ARCHITECT OR ENGINEER.
2. CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE PLANS. THE CONSTRUCTION METHODS, METHODS, COMPARISON OF THE WORK WITH OTHER TRADES OR SUB CONTRACTORS.
3. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THE ENGINEER OR ARCHITECT HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT AND SHALL NOT BE RESPONSIBLE FOR ANY DEFICIENCIES FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF THE ENGINEER OR ARCHITECT IN WRITING BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL NOTIFY ANY SUB-CONTRACTOR REGARDING ALL APPLICABLE STATE, OR FEDERAL, LOCAL, AND HOME STATES ON-SITE OR RECENTLY AVAILABLE IF REQUESTED.
5. SHOULD THE PROJECT NEED ANY CRITICAL SLOPE INSPECTION AS A PART OF THE WORK PROGRAM, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO SCHEDULE THE SITE REVIEW WITH THE APPROPRIATE STATE PROFESSIONAL AT THE SPECIFIC SITES. REFER TO THE FORM PLANS FOR THE CRITICAL SLOPE REVIEW. CONSULTING CANNOT SIGN OFF ON THE WRITTEN NOTICE OF SUBMITTAL NOTIF IF THE CRITICAL SLOPE REVIEWERS ARE NOT CONTACTED. ANY ADDITIONAL SERVICES OR RE-CONSTRUCTION RESULTING FROM THE CONTRACTORS LACK OF SCHEDULING SHALL BE AT THE CONTRACTORS COST.

DEMOLITION NOTES

- 1. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION OF WHICH ITEMS ARE TO BE DEMOLISHED AND TO IDENTIFY ONLY LOCATIONS OF THE ITEMS TO BE DEMOLISHED. THE DEMOLITION PLANS DOES NOT IDENTIFY THE LOCATION, DEPTH OR THE STRUCTURES TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND RESEARCH PRIOR TO PROVIDING A BID FOR DEMOLITION SERVICES OR PERFORMING ANY DEMOLITION OF CONSTRUCTION SERVICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
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GENERAL UTILITY NOTES

- 1. IF SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY UTILITY ONE-CALL NUMBER A MINIMUM 72 HOURS PRIOR TO ANY EXCAVATION ON THE SITE. CONTRACTOR SHALL ALSO RESPONSIBLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
2. LOCATION OF ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR MESSAGING PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID FOR SUCH VERIFICATION HAS NOT BEEN FIELD.
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GRADING NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BORROWING AND RESTORATION. ALL SOILS, TELLING OR UNDESIRABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS A MORE STRINGENT REQUIREMENT IS SET FORTH IN A GOVERNMENT AGENCY, REGULATIONS OR FILLED AREAS SHALL BE COMPACTED TO 98% MOISTURE PROPORTION.
2. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR MESSAGING PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID FOR SUCH VERIFICATION HAS NOT BEEN FIELD.
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GENERAL LANDSCAPE NOTES:

- 1. EXISTING TREES NOT PROPOSED IMPROVEMENTS SHALL BE PROTECTED WITH TREE PROTECTION FENCE, REFER TO THE PLAN SET FOR THE GENERAL LOCATION.
2. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, PLANT WATER, SHALL BE FURNISHED AND INSTALLED AS INDICATED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING TREES AND ALTIMENTS. ALL PLANTS, PLANT WATER, SHALL BE FURNISHED AND INSTALLED AS INDICATED.
4. TREES SHALL BE TYPICAL FOR THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, AND FREE OF DEFECTS.
5. CONTRACTOR SHALL REMOVE ANY SOIL OR SUBSURFACE DRAINAGE WHICH MAY BE DETERMINED TO OBSTRUCT THE PLANT.
6. INSTANT AS PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DATE OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE THE CONTRACTOR SHALL PROTECT THE UNPLANTED AREAS UNTIL IT REMAINS AVAILABLE FOR PLANTING. UNLESS SO SPECIFIED, ALL LANDSCAPE PLANTS UNPLANTED FOR MORE THAN 100 DAYS.
7. ALL PLANTS SHALL BE PLANTED IN TROPICAL. THIS IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROCEDURES.
8. INSTALLATION OF PLANTS SHALL OCCUR WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE.
9. CONTRACTOR SHALL ENSURE THE PLANTS ARE WATERED AFTER INSTALLATION TO INCREASE THE INSTALLED PLANTINGS THRU WATERING SHALL CONTINUE UNTIL SUCH TIME AS THE OTHER AREAS.
10. ALL DISTURBED AREAS ARE TO BE FINE GRADED, ROLLED, MULCHED AND SEEDED.

ADA CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, OR OFFICIAL RESPONSIBLE FOR THE REVIEW AND INSPECTION OF ADA ELEMENTS, PRIOR TO CONSTRUCTION WORK. SHOULD ANY MODIFICATIONS BE NEEDED TO ADA ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
2. CONCRETE USED FOR ADA ELEMENTS SHALL PROVIDE FOR A SMOOTH, SLIP RESISTANT FINISH OR AS REQUIRED BY THE LOCAL AUTHORITY.
3. CONTRACTOR SHALL VERIFY GRADING AND SLOPING PRIOR TO INSTALLATION.
4. COMPLETING ADA ACCESSIBILITY FOR THE PROJECT, THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXPERTISE IN INSTALLATION OF ADA ELEMENTS IN THE PROJECT JURISDICTION AND UNDERSTANDS THE LEVEL OF ACCURACY AND PLANNING REQUIRED BY THE CONTRACTOR TO COMPLETE THE WORK.
5. WHERE ADA ACCESSIBILITY TO EXISTING STRUCTURES IS NOT PROVIDED ON THE PLAN, IT WAS NOT EXPEDITED BY THE OWNER. HOWEVER, THE CONTRACTOR SHALL PROVIDE A GUIDE FOR THE CONNECTION TO THE OWNER AND SHALL NOTIFY LOCAL BUILDING CODE OFFICIALS FOR THE REVISIONS AND BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.

ADA NOTES

- 1. THE CONTRACTOR SHALL REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, OR OFFICIAL RESPONSIBLE FOR THE REVIEW AND INSPECTION OF ADA ELEMENTS, PRIOR TO CONSTRUCTION WORK. SHOULD ANY MODIFICATIONS BE NEEDED TO ADA ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
2. CONCRETE USED FOR ADA ELEMENTS SHALL PROVIDE FOR A SMOOTH, SLIP RESISTANT FINISH OR AS REQUIRED BY THE LOCAL AUTHORITY.
3. CONTRACTOR SHALL VERIFY GRADING AND SLOPING PRIOR TO INSTALLATION.
4. COMPLETING ADA ACCESSIBILITY FOR THE PROJECT, THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXPERTISE IN INSTALLATION OF ADA ELEMENTS IN THE PROJECT JURISDICTION AND UNDERSTANDS THE LEVEL OF ACCURACY AND PLANNING REQUIRED BY THE CONTRACTOR TO COMPLETE THE WORK.
5. WHERE ADA ACCESSIBILITY TO EXISTING STRUCTURES IS NOT PROVIDED ON THE PLAN, IT WAS NOT EXPEDITED BY THE OWNER. HOWEVER, THE CONTRACTOR SHALL PROVIDE A GUIDE FOR THE CONNECTION TO THE OWNER AND SHALL NOTIFY LOCAL BUILDING CODE OFFICIALS FOR THE REVISIONS AND BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
6. PLANNING STUDIES AND PLANNING STUDIES USED FOR ADA GRADIENTS ARE NOT TO EXCEED A SLOPE OF 1:48 (1/4" PER FOOT) OR NOMINALLY 3:00 IN ANY DIRECTION. ADA PARKING SPACES SHALL RECEIVE THE APPROPRIATE SLOPING AND STRIPING FOR ADA COMPLIANCE.
7. CURB RAMPWAYS ARE NOT TO EXCEED A SLOPE OF 1:12 (1.2%) FOR A MAXIMUM LENGTH OF 50' 0".
8. CLIMBING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPWAYS AND SHALL NOT EXCEED 1/4" (1/4" PER FOOT) OR NOMINALLY 3:00 CROSS SLOPE. LANDINGS SHALL BE A MINIMUM SIZE OF 5'-FEET WIDE BY 5'-FEET DEEP. LANDINGS SHALL BE CONSTRUCTED SO THAT THERE IS NO POSITIVE OR NEGATIVE SLOPING.
9. PLANS OF TRAIL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 3-FOOT OR GREATER UNDEVELOPED TRAIL WITHIN WITH A SLOPE NO GREATER THAN 1:50 (2% SLOPE) FOR A MAXIMUM DISTANCE OF 30' FEET. THE RAMP SHALL HAVE LANDINGS ON EACH END WITH A CROSS SLOPE OF 1:50 (2% SLOPE).
10. PLANS OF TRAIL SHALL BE FREE OF OBSTACLES IN GRADE. IF THE PATH OF TRAIL HAS ELEMENTS THAT RESULT IN A VERTICAL CHANGE OF 8" OR MORE, THE CONTRACTOR SHALL PROVIDE A GRADUAL SLOPE TO THE ELEMENTS.
11. WHERE THERE ARE ABUPT CHANGES UNDER THE THRESHOLDS INDICATED HEREIN, THEN THE CONTRACTOR SHALL CONSULT THE OWNER, DEVELOPER, AND/OR CONSTRUCTION MANAGER TO DETERMINE IF THOSE ELEMENTS SHOULD BE REPEATED.
12. RAMPWAYS SHALL BE REPEATED WHERE THE ACCESSIBLE ROUTE WILL BE GREATER THAN 1:50 (2% SLOPE) WHERE REQUIRED, ADA RAMPWAYS SHALL HAVE A MINIMUM SLOPE OF 1:12 (1.2%) FOR A MAXIMUM DISTANCE OF 30' FEET. THE RAMP SHALL HAVE LANDINGS ON EACH END WITH A CROSS SLOPE OF 1:50 (2% SLOPE).
13. THE UNPAVED AREA SHALL BE 1/2" (1/2" PER FOOT) OR MORE IN CROSS SLOPE. EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATE SURFACE OR OTHER CONDITIONS.
14. IT IS RECOMMENDED THAT THE CONTRACTOR UTILIZE A SMART LEVEL TO VERIFY EXISTING GRADES AND ANY FORMWORK PRIOR TO CONSTRUCTION OF ADA ELEMENTS AND SEPARATIONS.
15. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL TOPOGRAPHIC INFORMATION, CURB HEIGHTS, DOOR SILL ELEVATIONS AND CROSS SLOPES WHERE ADA ELEMENTS ARE BEING CONSTRUCTED OR ACCESSIBLE ROUTES ARE NOT EXISTING FEATURES.
16. THE ADA STANDARDS ON THE PLANS AND REQUIREMENTS INDICATED HEREIN ARE A MINIMUM BASED ON CLIENT AND FEDERAL AGENCY GUIDELINES. SOME STATES MAY HAVE ADDITIONAL OR MORE RESTRICTIVE REQUIREMENTS TO THE STRIPING CONFIGURATIONS AND SIGNAGE PLACEMENT. ADDITIONALLY, FIELD INSPECTION PROFESSIONALS MAY HAVE SPECIFIC PROFESSIONAL REQUIREMENTS THAT WERE NOT CONTAINED IN THE ORIGINAL PLANS. THE CONTRACTOR SHALL VERIFY THE LOCAL BUILDING CODE OFFICIALS FOR ANY ADDITIONAL REQUIREMENTS THAT MAY BE NEEDED TO COMPLETE THE PROJECT.
17. A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE THE CONSTRUCTION MANAGER, DEVELOPER, AND/OR OWNER WITH A PLAN SHEET SHOWING THE RESULTING AS-BUILT SLOPES OF AN INDIVIDUAL PLAN SHALL IDENTIFY THE DATE THE SLOPES WERE MEASURED AND THE NAME OF THE SHOPPING WHICH CONSTRUCTED AND CHECKED THE AS-BUILT GRADES.

Cornerstone Consulting Engineers & Design Services, Inc. 215 West Main Street - Lumberton, NJ 08046 Phone: 215-265-2520 Fax: 215-265-2440 www.cornerstoneinc.com

Table with columns: DATE, REVISIONS, DESCRIPTIONS, COMMENTS, APPROVED BY, CHECKED BY, DESIGNED BY, DRAWN BY, PLOTTED BY, PRINTED BY, SCALE, SHEET NO., TOTAL SHEETS.

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KEVIN H. FRUCK PROFESSIONAL ENGINEER

PROJECT LOCATION

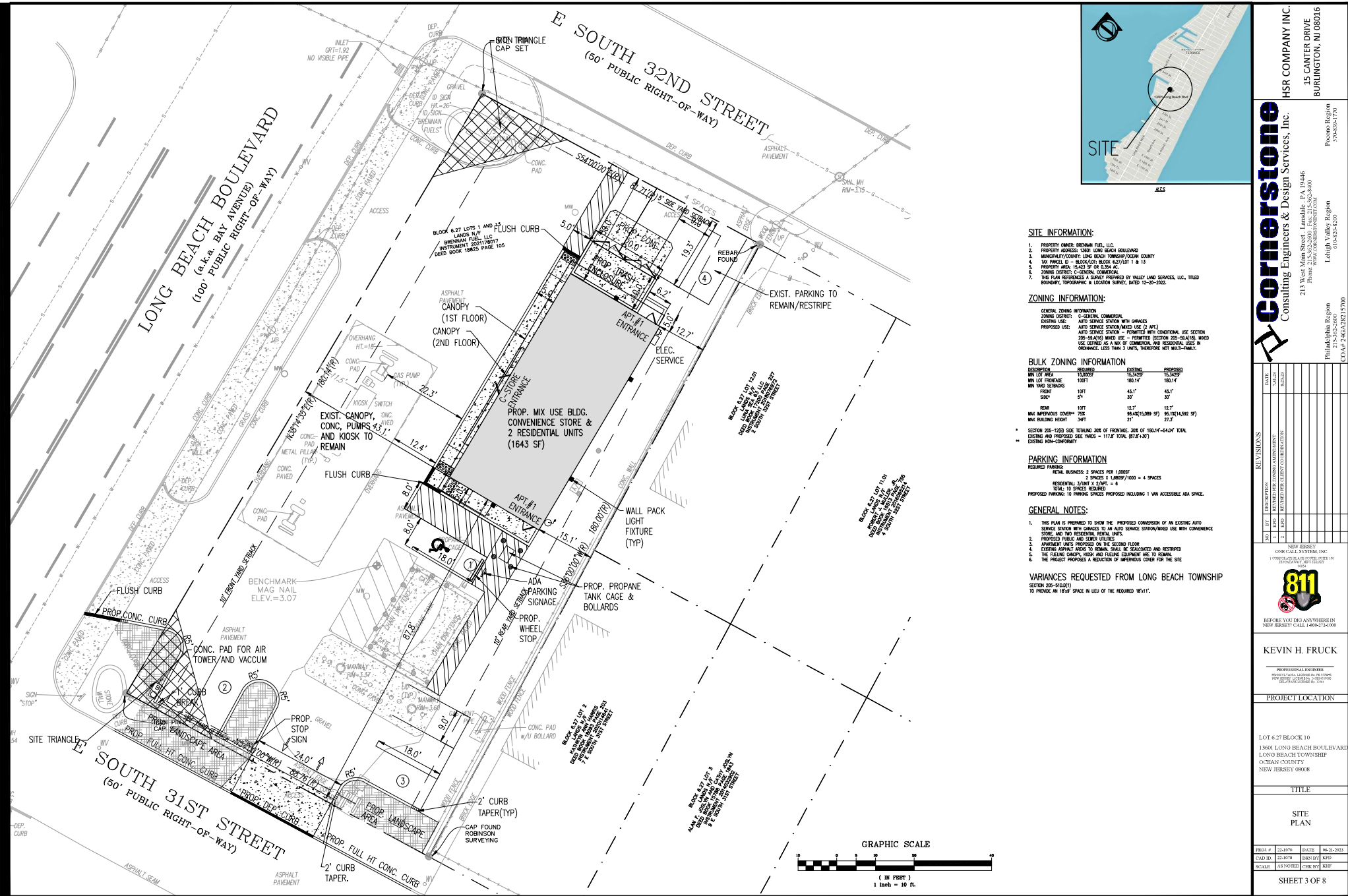
LOT 67 BLOCK 10 1360 LONG BEACH BOULEVARD LONG BEACH TOWNSHIP OCEAN COUNTY NEW JERSEY 08008

TITLE

NOTES

Table with columns: PROJ. NO., SHEET NO., DATE, SHEET TOTALS.

SHEET 2 OF 8



SITE INFORMATION:

1. PROPERTY OWNER: BRENNAN FUEL, LLC
2. PROPERTY ADDRESS: 13601 LONG BEACH BOULEVARD
3. MUNICIPALITY/COUNTY: LONG BEACH TOWNSHIP/OCEAN COUNTY
4. THE TOWNSHIP OF: BRIDGEVIEW BLOCK 42/LOT 1 & 13
5. PROPERTY AREA: 18,433 SF OF 31,034 SF
6. ZONING DISTRICT: C-GENERAL COMMERCIAL
7. THIS PLAN REFLECTS A SURVEY PREPARED BY VALLEY LAND SERVICES, LLC, TITLED BOUNDARY, TOPOGRAPHIC & LOCATION SURVEY, DATED 12-29-2022.

ZONING INFORMATION:

GENERAL ZONING INFORMATION:
 ZONING DISTRICT: C-GENERAL COMMERCIAL
 EXISTING USE: AUTO SERVICE STATION WITH GARAGES
 PROPOSED USE: AUTO SERVICE STATION - PERMITTED WITH CONDITIONAL USE SECTION 205-20.4(10) MIXED USE - PERMITTED (SECTION 205-20.4(13) MIXED USE DESIGNATED AS A MIX OF COMMERCIAL AND RESIDENTIAL USES IN ORDINANCE, LESS THAN 3 UNITS, THEREFORE NOT MULTI-FAMILY.

BULK ZONING INFORMATION

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	13,000 SF	15,242 SF	15,242 SF
MIN LOT FRONTAGE	100 FT	180.14'	180.14'
MIN YARD SETBACKS			
FRONT	10 FT	43.1'	43.1'
SIDE	5'	30'	30'
REAR	10 FT	13.7'	13.7'
MAX IMPERVIOUS COVER %	25%	88.4%(15,089 SF)	88.1%(14,892 SF)
MAX BUILDING HEIGHT	30 FT	21'	21.5'

* SECTION 205-19(9) SEE TYPING SIZE OF PROPOSED: SIZE OF 180.14'-0.00" TOTAL EXISTING AND PROPOSED SIDE YARDS = 117.8' TOTAL (87.8'-1.50')

PARKING INFORMATION

REQUIRED PARKING:
 RETAIL BUSINESS: 2 SPACES PER 1,000 SF
 RESIDENTIAL: 1 UNIT = 2 SPACES = 4 SPACES
 TOTAL: 18 SPACES REQUIRED
 PROPOSED PARKING: 18 PARKING SPACES PROPOSED INCLUDING 1 VAN ACCESSIBLE ADA SPACE.

GENERAL NOTES:

1. THIS PLAN IS PREPARED TO SHOW THE PROPOSED CONVERSION OF AN EXISTING AUTO SERVICE STATION WITH GARAGES TO AN AUTO SERVICE STATION/MIXED USE WITH COMMERCIAL SPACE AND TWO RESIDENTIAL UNITS.
2. PROPOSED PUBLIC AND SENIOR UTILITIES
3. APARTMENT UNITS PROPOSED ON THE SECOND FLOOR
4. EXISTING ASPHALT AREAS TO REMAIN SHALL BE SEALCOATED AND RESTRIPTED
5. THE PUBLIC CATCH BASIN AND FILING EQUIPMENT ARE TO REMAIN.
6. THE PROJECT PROPOSES A REDUCTION OF IMPERVIOUS COVER FOR THE SITE.

VARIANCES REQUESTED FROM LONG BEACH TOWNSHIP
 SECTION 205-59.0(2)
 TO PROVIDE AN 18'5" SPACE IN LIEU OF THE REQUIRED 15'11".

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Philadelphia Region
 Lehigh Valley Region
 CO: 610-246-5313

REV	DATE	DESCRIPTION	BY	CHKD
1	12/29/22	ISSUED FOR PERMITS	MM	MM
2	12/29/22	REVISED PER CONNY ADMINISTRATION	MM	MM
3	12/29/22	REVISED PER CLIENT CORRECTIONS	MM	MM

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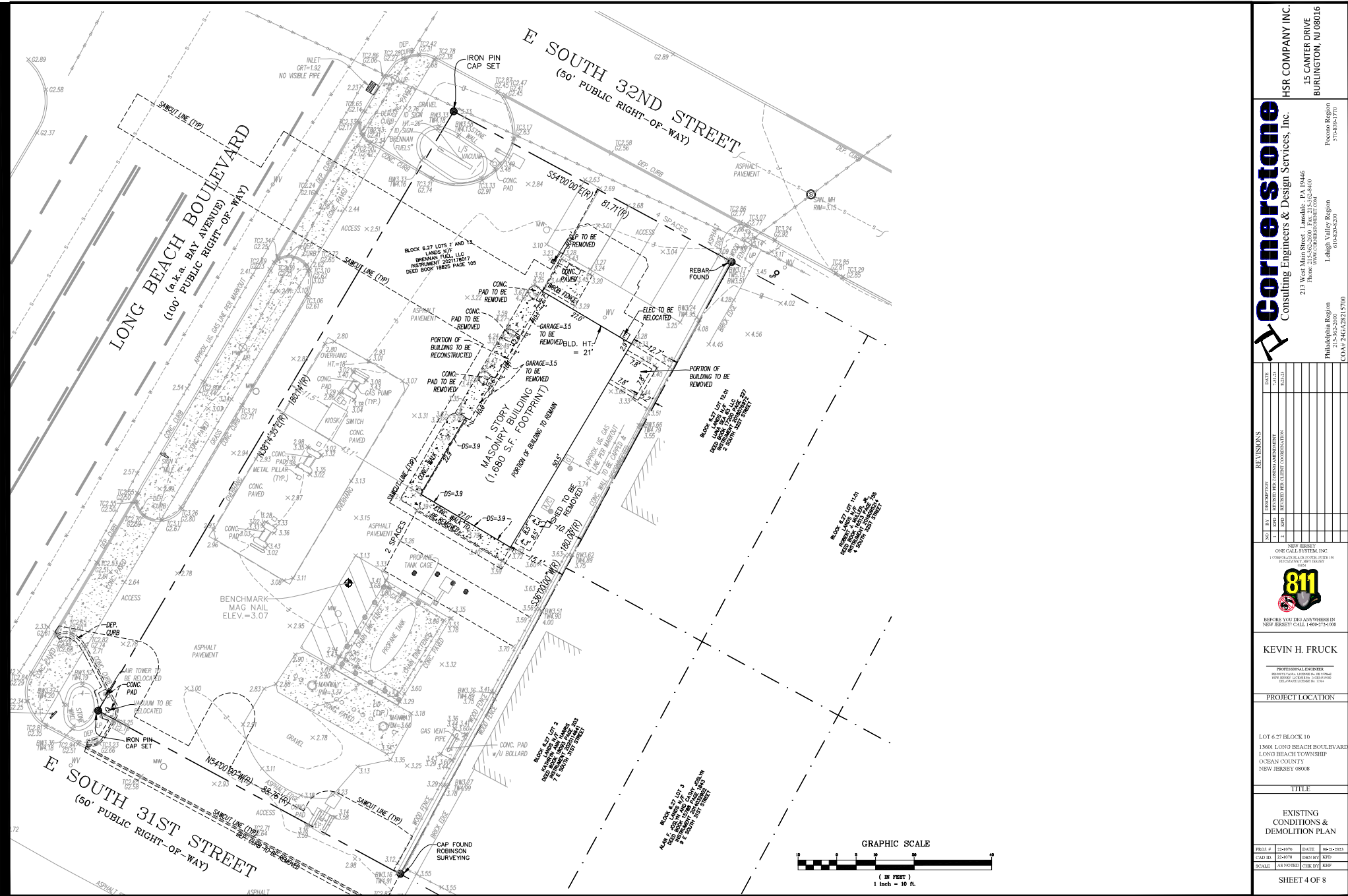
KEVIN H. FRUCK
 PROFESSIONAL ENGINEER
 PROJECT NO. 22-070 DATE: 06-15-2023
 CAD DR. 22-070 EBN BY: KHF
 SCALE: AS NOTED CHK BY: KHF

PROJECT LOCATION
 LOT 6,27 BLOCK 10
 13601 LONG BEACH BOULEVARD
 LONG BEACH TOWNSHIP
 OCEAN COUNTY
 NEW JERSEY 08008

TITLE
 SITE PLAN

FIG. 4 22-070 DATE: 06-15-2023
 CAD DR. 22-070 EBN BY: KHF
 SCALE: AS NOTED CHK BY: KHF

SHEET 3 OF 8



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Project Region
516-352-7770

NO.	DESCRIPTION	REVISIONS	DATE
1	ISSUED FOR PERMITS	1	08/23/10
2	ISSUED FOR CLIENT SUBMITTAL	1	08/23/10

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KEVIN H. FRUCK
PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL ENGINEER NO. 36748
NEW JERSEY LICENSE NO. 36748

PROJECT LOCATION

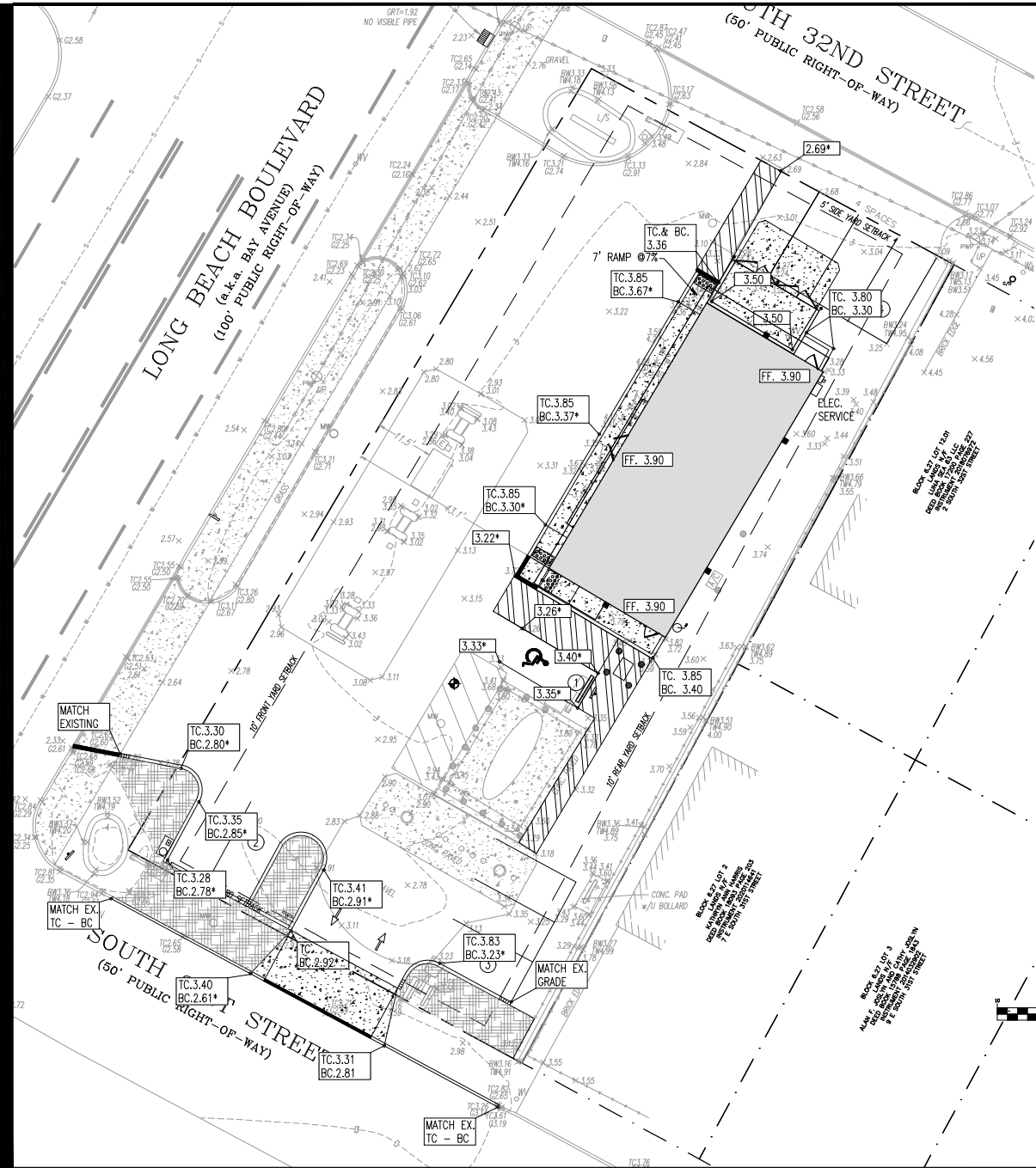
LOT 6-27 BLOCK 10
1360 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP
OCEAN COUNTY
NEW JERSEY 08008

TITLE

EXISTING
CONDITIONS &
DEMOLITION PLAN

DATE	2/2/10	DATE	06/25/2013
CAD DR.	2/2/10	ENR BY	KMF
SCALE	AS NOTED	CHK BY	KMF

SHEET 4 OF 8



GENERAL GRADING NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY ONE-CALL NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. THE CONTRACTOR SHALL ALSO INDEPENDENTLY VERIFY LOCAL WATER AND OTHER UTILITIES TO MARK OUT THEIR UTILITIES.
2. LOCATIONS ON THE PLAN DESIGNATED WITH AN ANTIPOD (*) ARE LOCATIONS INDICATED TO MATCH EXISTING GRADES OR EXISTING MANHOLE. THESE LOCATIONS HAVE BEEN INTERPOLATED AND/OR CALCULATED AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
3. SLOPE GRADES ARE SHOWN WITH A TC (TOP OF CURB) SHOWING THE ELEVATION AT THE TOP OF CURB AND BC (BOTTOM OF CURB) INDICATING THE GRADE. 5/8" IDENTIFIERS THAT THE CURB IS TO BE FLUSH CURB. BC DOES NOT REPRESENT THE BOTTOM OF THE CURB STRUCTURE, REFER TO THE SHOWN DETAILS FOR FURTHER INFORMATION.
4. REFER TO THE NOTES SHEET AND OTHER PLAN SHEETS FOR ADDITIONAL NOTES, SPECIFICATIONS, AND INFORMATION.

DRAINAGE NOTES

1. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS AND DETAILS.
2. THE PROJECT PROPRIETOR'S RESPONSIBILITY FOR THE SITE.

ADA CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL OR OFFICIAL RESPONSIBLE FOR THE REVIEW AND PROTECTION OF ADA ELEMENTS PRIOR TO COMMENCING WORK. SHOULD ANY MODIFICATIONS BE NEEDED TO ADA ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
2. CONCRETE USES FOR ADA ELEMENTS SHALL PROVIDE FOR A SMOOTH, SLIP RESISTANT FINISH OR AS REQUIRED BY THE LOCAL AUTHORITY.
3. CONTRACTOR SHALL VERIFY SCHEDULING AND STRIKING PRIOR TO INSTALLATION.
4. BY COMPLETING ADA INSTALLATION FOR THE PROJECT, THE CONTRACTOR ACKNOWLEDGES THAT THEY ARE EXPERIENCED IN INSTALLATION OF ADA ELEMENTS IN THE PROJECT JURISDICTION AND UNDERSTAND THE LEVEL OF ACCURACY AND PLANNING REQUIRED BY THE CONTRACTOR TO COMPLETE THE WORK.
5. WHERE ADA ACCESSIBLE ROUTES TO EXISTING STRUCTURES IS NOT PROPOSED ON THE PLAN, IT WAS NOT REQUESTED BY THE OWNER. HOWEVER, THE CONTRACTOR SHALL PROVIDE A COST FOR THE CONNECTION TO THE OWNER AND SHALL INSTALL SUCH IMPROVEMENTS FOR THE RECORDS. ABOVE IF REQUESTED BY THE OWNER. IF ADDITIONAL PLANS OR DETAILS ARE REQUIRED, THE CONTRACTOR SHALL REQUEST THE SAME FROM THE ARCHITECT OR ENGINEER, AND THE OWNER.

ADA NOTES

1. THE CONTRACTOR SHALL REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL OR OFFICIAL RESPONSIBLE FOR THE REVIEW AND PROTECTION OF ADA ELEMENTS PRIOR TO COMMENCING WORK. SHOULD ANY MODIFICATIONS BE NEEDED TO ADA ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ADA FORMS IDENTIFIED ON THE PLAN OR AREA OTHERWISE DESIGNATED OR TYPICAL FOR ADA USES AND SHALL PROVIDE APPROPRIATE ATTENTION AND PRESSION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS FOR THE SIZE, THE CONSTRUCTION OF THESE COMPONENTS MUST COMPLY WITH LOCAL, STATE AND FEDERAL STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN THE STANDARDS THE CONTRACTOR SHALL CONSIDER THE HIGHER WITH THE DESIGNATED ADA CODE PORTION.
3. THE ACCESSIBLE ROUTE INCLUDES AREAS FROM PARKING SPACES, PUBLIC SIDEWALKS ALONG THE BUILDING FRONTAGE, ADJOINING BUILDING ACCESS, AND AN ACCESSIBLE WALKING SURFACE TO POINTS OF DESIGNATED ACCESSIBLE BUILDING ENTRANCE (EGRESS). THESE AREAS SHALL COMPLY WITH ADA AND ARE NOT LIMITED TO THE ADA CODE REQUIREMENTS AS OUTLINED BELOW.
 - A. PARKING SPACES AND PARKING SPACES USED FOR ADA SPACES ARE NOT TO EXCEED A SLOPE OF 1/4" (1/4" PER FOOT OR NONNALLY 2.2%) IN ANY DIRECTION. ADA PARKING SPACES SHALL INCLUDE THE APPROPRIATE SIGNAGE, AND STRIPING FOR ADA SPACES.
 - B. CURB RAMP ARE NOT TO EXCEED A SLOPE OF 1:12 (8.33%) FOR A MAXIMUM LENGTH OF 30' (9) FEET.
 - C. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMP AND SHALL NOT EXCEED 1/4" (1/4" PER FOOT OR NONNALLY 2.2%) CROSS SLOPE. LANDINGS SHALL BE A MINIMUM SIZE OF 5-FOOT LONG. LANDINGS SHALL BE CONSTRUCTED SO THAT THERE IS NO PROTRUSION OF WHEEL AT THE LANDING AREA.
 - D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 5-FOOT OR GREATER UNOBSTRUCTED TRAIL WITHIN, WITH A SLOPE NO GREATER THAN 1:20 (5% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND CROSS SLOPE NO GREATER THAN 1/4" (1/4" PER FOOT OR 2.2%).
 - E. PATH OF TRAVEL SHALL BE FREE OF OBSTACLES IN CURBS. IF THE PATH OF TRAVEL HAS ELEMENTS THAT RESULT IN A VERTICAL CHANGE OF 8" OR MORE, THE CONTRACTOR SHALL WELD, GRASS AND/OR RE-CONSTRUCT AS NECESSARY TO MEET ADA REQUIREMENTS. IF THERE ARE OBSTACLES UNDER THE THRESHOLDS INDICATED ABOVE, THEN THE CONTRACTOR SHALL CONSULT THE OWNER, DEVELOPER, AND/OR CONSTRUCTION MANAGER TO DETERMINE IF THESE ELEMENTS SHOULD BE MOVED.
 - F. RAMP SHALL BE REQUIRED WHERE THE ACCESSIBLE ROUTE WILL BE GREATER THAN 150' (45.72M). WHERE REQUIRED, ADA RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) FOR A MAXIMUM DISTANCE OF 30 FEET. THE RAMP SHALL HAVE LANDINGS ON EACH END WITH A CROSS SLOPE OF NO MORE THAN 1/4" (1/4" PER FOOT OR 2.2%), AND SHALL PROVIDE FOR HANDRAILS AND EDGE PROTECTION AS REQUIRED.
 - G. SIDEWALKS SHALL HAVE A LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPE NO MORE THAN 1/4" (1/4" PER FOOT OR 2.2%). THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ACCESSIBLE COMMUNITY OPENING CONSTRUCTION.
4. IF IT IS RECOMMENDED THAT THE CONTRACTOR UTILIZE A SMART LEVEL TO VERIFY EXISTING GRADES AND ANY FORMWORK PRIOR TO CONSTRUCTION OF ADA ELEMENTS AND DETAILS.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL TOPOGRAPHIC INFORMATION, CURB HEIGHTS, DOOR SILL ELEVATIONS AND CROSS SLOPES WHERE ADA ELEMENTS ARE BEING CONSTRUCTED OR ACCESSIBLE ROUTES TO THE EXISTING FEATURES.
6. THE ADA DETAILS ON THE PLANS AND REQUIREMENTS INDICATED ABOVE ARE A MINIMUM BASED ON CLIENT AND FEDERAL ADA GUIDELINES. SOME SITES MAY HAVE ADDITIONAL OR MORE RESTRICTIVE REQUIREMENTS TO THE EXISTING CONSTRUCTION AND SOME REQUIREMENTS. ADDITIONALLY, FIELD INSPECTOR PERSONNEL MAY HAVE SPECIFIC PREFERENCES OR REQUIREMENTS THAT WERE NOT IDENTIFIED IN THE REVENUE OF THESE PLANS BY THE CODE OFFICIALS AND THEREFORE THE CONTRACTOR SHALL CONDUCT A PRE-INSTALLATION CONFERENCE TO DISCUSS ALL ELEMENTS ARE INSTALLED AS REQUIRED BY FIELD PERSONNEL, SHOULD ANY MODIFICATIONS BE NEEDED TO ADA ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NEEDED TO THE ARCHITECT OR ENGINEER.
7. CONTRACTOR SHALL PROVIDE THE CONSTRUCTION MANAGER, DEVELOPER, AND/OR OWNER WITH A PLAN SHEET SHOWING THE RESULTING AS-BUILT SLOPES OF ADA FACILITIES. PLAN SHALL INDICATE THE DATE THE SLOPES WERE MEASURED AND THE NAME OF THE COMPANY WHO CONDUCTED AND CHECKED THE AS-BUILT GRADES.

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 BURLINGTON, NJ 08016
 Project Region
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 970.632.7770

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REVISIONS	
NO.	DATE
1	02/25/20
2	02/25/20
3	02/25/20
4	02/25/20
5	02/25/20
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49	02/25/20
50	02/25/20

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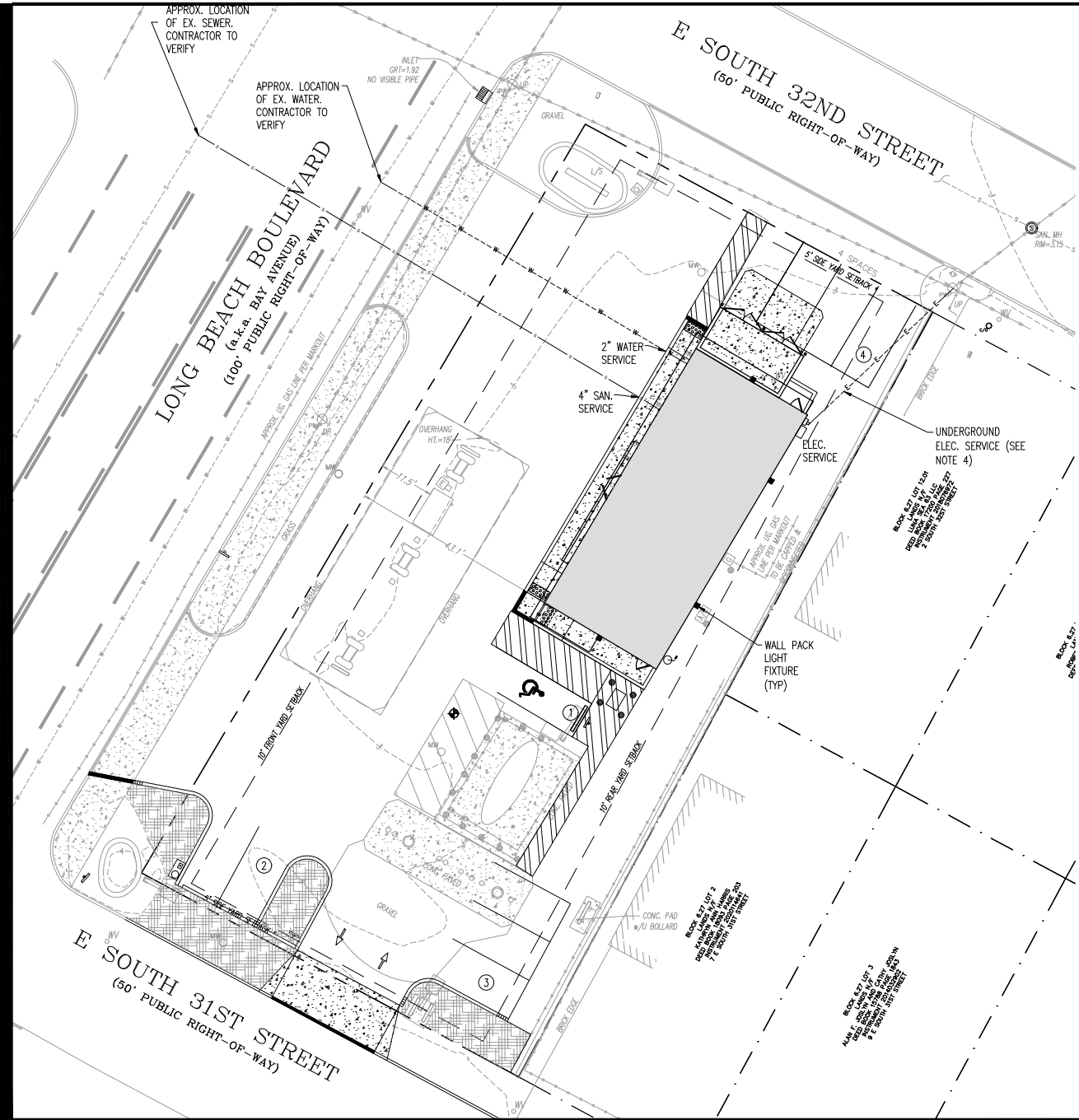
KEVIN H. FRUCK
 PROFESSIONAL ENGINEER
 PROJECT NO. 190810-01-01
 NEW JERSEY REG. NO. 35-260-00000000-00000000

PROJECT LOCATION
 LOT 6.27 BLOCK 10
 13601 LONG BEACH BOULEVARD
 LONG BEACH TOWNSHIP
 OCEAN COUNTY
 NEW JERSEY 08008

TITLE
 GRADING & DRAINAGE PLAN

DATE	25-07-20	DATE	06-15-2020
CAD DR	25-07-20	ENR BY	KRF
SCALE	AS NOTED	CHK BY	KRF

SHEET 5 OF 8



GENERAL UTILITY NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER A MINIMUM 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO INDEPENDENTLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
2. CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY AND UTILITY FOR CONNECTION OF ANY NEW WATER SERVICES.
3. REFER TO THE NOTES SHEET AND OTHER PLAN SHEETS FOR ADDITIONAL NOTES, SPECIFICATIONS AND INFORMATION.

WATER NOTES

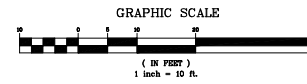
1. THIS PLAN PROPOSES AN INTERNAL WATER SERVICE.
2. COORDINATE FINAL WATER SERVICE LOCATIONS WITH THE ARCHITECTURAL PLAN SET.
3. A STREET OPENING PERMIT WILL BE NEEDED FOR CONNECTION OF THE WATER SERVICE AND FIRE LINE.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF BURLINGTON PUBLIC WORKS.
5. CONTRACTOR TO INCLUDE ALL WORK NECESSARY TO INSTALL THE WATER AND FIRE SERVICES, INCLUDING BUT NOT LIMITED TO: SHAW CUT, ASPHALT AND CONCRETE DISPOSAL, ASPHALT AND CONCRETE INSTALLATION, THROTTLE BLOCKING, MATERIALS AND LABOR FOR INSTALLATION, VALVES, VALVE BOXES AND LEAK CLEAN UP, TESTING, DEMONSTRATION, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFFIC CONTROLS.
6. ALL TEES, ELBOWS, COUPLERS, REDUCERS, AND HORIZONTAL BRANCHES SHOULD BE RESISTANT AGAINST MOVEMENT, PIPE CLAMPS AND RE-TOOL THROTTLE BLOCKS (WHERE SOIL IS SUITABLY LOCKED MECHANICALLY OR PUSH-ON JOINTS, MECHANICAL JOINTS UTILIZING SET SCREW RETAINER BLENDS, OR OTHER APPROVED METHODS OR DEVICES SHOULD BE USED). THE TYPE OF PIPE USED, SOIL CONDITION, AND AVAILABLE SPACE WILL DETERMINE THE BEST METHOD.

SANITARY NOTES

1. SANITARY PIPES SHALL BE 30\"/>

ELECTRIC NOTES

1. CONTRACTOR SHALL COORDINATE INSTALLATION OF PRIMARY SERVICES AND TRANSFORMER WITH THE ELECTRIC UTILITY. REFER TO ARCHITECTURAL PLANS FOR SERVICE REQUIREMENTS.
2. ALL EXTERIOR ELECTRIC LINES SHALL BE INSTALLED IN PVC ELECTRIC CONDUIT.
3. ALL ELECTRICAL WORK SHALL MEET THE ELECTRIC UTILITY REQUIREMENTS.
4. CONTRACTOR/EMPLOYEES SHALL VERIFY IF NEW TRANSFORMER IS NEEDED WITH ELECTRIC APPLICATION.



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REV	DATE	DESCRIPTION
1	04/23	ISSUED FOR COMMENT/ADJUSTMENT
2	05/23	ISSUED FOR CLIENT/COMPLETION

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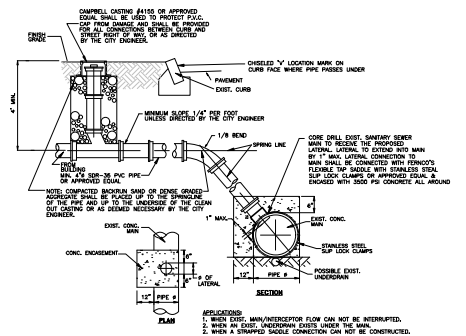
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KEVIN H. FRUCK
 PROFESSIONAL ENGINEER
 PROJECT NO. 22-070
 DATE: 06-15-2023

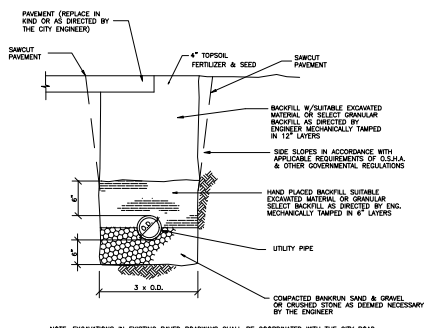
PROJECT LOCATION
 LOT 6.27 BLOCK 10
 13601 LONG BEACH BOULEVARD
 LONG BEACH TOWNSHIP
 OCEAN COUNTY
 NEW JERSEY 08008

TITLE
 UTILITY PLAN

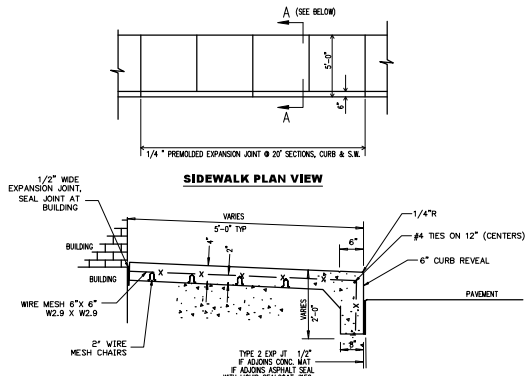
PROJ. NO.	22-070	DATE	06-15-2023
CAD. DR.	22-070	ENR. BY	KHF
SCALE	AS NOTED	CHK. BY	KHF



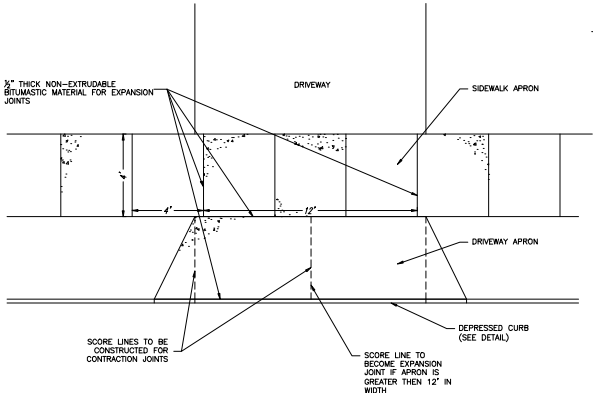
LATERAL CONNECTION TO EXISTING SEWER MAIN DETAIL
NOT TO SCALE



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

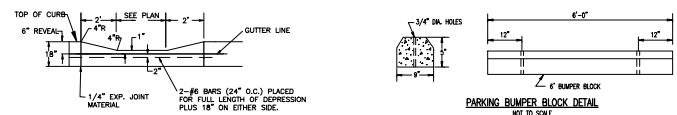


**SECTION A-A
SIDEWALK & CURB AT BUILDING**

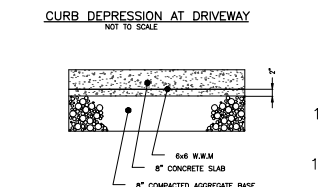


- NOTES:
1. EXPANSION JOINTS SHALL BE PROVIDED WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
 2. REINFORCE WITH 6X6 TEN GAUGE WWM.
 3. FINISHED CONCRETE SHALL BE BROOM SWEEPED.
 4. ALL CONCRETE SHALL BE A MINIMUM OF 6" THICK AND 4000 PSI AT 28 DAYS.
 5. CONCRETE TO BE CURED PER N.J.D.O.T. SPECIFICATIONS.

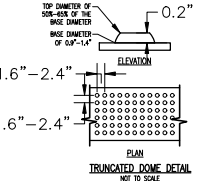
DRIVEWAY APRON DETAIL
NOT TO SCALE



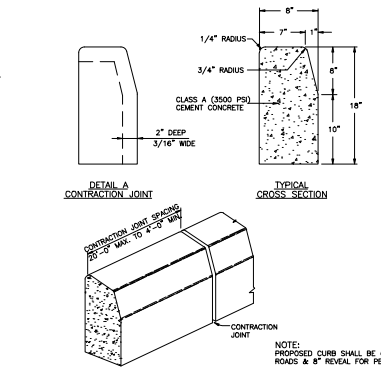
PARKING BUMPER BLOCK DETAIL
NOT TO SCALE



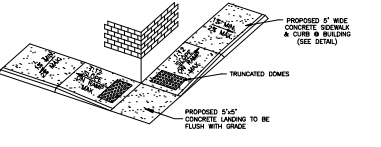
- NOTES:
1. CONCRETE TO MINIMUM 4" MINIMUM THICKNESS OF 4"
 2. BOTTOM OF SLAB TO MINIMUM ANGLE OF GRADE
- CONCRETE PAVING (TRASH ENCLOSURE)**
NOT TO SCALE



TRUNCATED DOME DETAIL
NOT TO SCALE



PLAIN CEMENT CONCRETE CURB
NOT TO SCALE



HANDICAP RAMP DETAIL
NOT TO SCALE

GENERAL NOTES

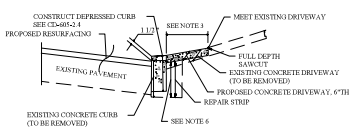
ALL MATERIAL, REPAIR STRIPS AND EXCAVATION FOR DRIVEWAY CONSTRUCTION TO BE INCLUDED IN THE BID PRICE FOR HMA DRIVEWAY, CONCRETE DRIVEWAY OR CONCRETE CURB.

HMA DRIVEWAY SURFACE COURSE, TOP LAYER AND BOTTOM LAYER SHALL BE MIN. 1\"/>

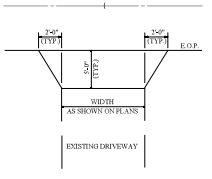
LENGTH OF DRIVEWAY WORK SHALL BE 1 FEET UNLESS OTHERWISE SHOWN ON PLANS OR AS DIRECTED. MAINTAIN EXISTING DIRECTION OF FLOW ON DRIVEWAY.

DENSE GRADED AGGREGATE BASE COURSE SHALL BE USED TO PROVIDE TEMPORARY ACCESS DURING DRIVEWAY CONSTRUCTION OR ANEALAR MATERIAL FROM THE PROJECT OR SOIL AGGREGATE AS DIRECTED.

NO BASE COURSE IS REQUIRED FOR DRIVEWAY.



**TYPE 2
RECONSTRUCTION OF CONCRETE DRIVEWAY
(WITH DEPRESSED CURB)**
CD-607-2



TYPICAL DRIVEWAY TREATMENT
PLAN VIEW
CD-607-2

DRIVEWAYS
N.T.S.

CONSTRUCTION DETAILS
NEW JERSEY DEPARTMENT OF TRANSPORTATION
CD-607-2

HSR COMPANY INC.
15 CANTER DRIVE
BURLINGTON, NJ 08016

Cornerstone
Consulting Engineers & Design Services, Inc.

213 West Main Street, Philadelphia, PA 19146
Phone: 215-525-2500 FAX: 215-525-2440
WWW.CORNERSTONEINC.COM

Philadelphia Region
Lehigh Valley Region
610.263.1500

Project Region
570.633.7770

NO.	REV.	DESCRIPTION	DATE
1	1	ISSUED FOR PERMITS	08/21/10
2	1	ISSUED FOR CONSTRUCTION	08/21/10
3	1	ISSUED FOR CLIENT CONSTRUCTION	08/21/10

NEW JERSEY
ONE CALL SYSTEM, INC.
1-800-4-A-ROAD
1000 PENNSYLVANIA BLVD., SUITE 200
PHILADELPHIA, PA 19104
PH: 215-581-1100 FAX: 215-581-1101

811

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NEW JERSEY CALL 1-800-251-1000

KEVIN H. FRUCK
PROFESSIONAL ENGINEER
PROFESSIONAL LICENSE NO. 100-10000
NEW JERSEY STATE BOARD OF EXAMINERS
FOR PROFESSIONAL ENGINEERS

PROJECT LOCATION

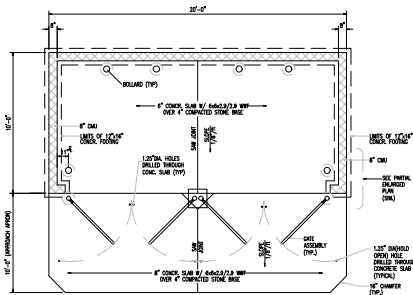
LOT 6.27 BLOCK 10
13601 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP
OCEAN COUNTY
NEW JERSEY 08008

TITLE

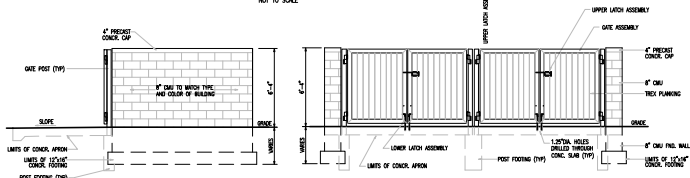
DETAILS

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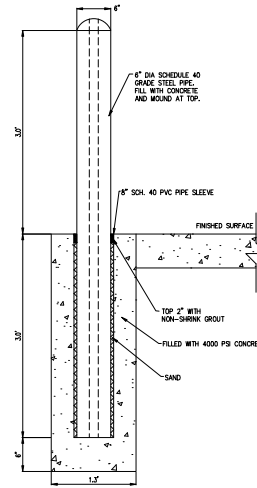
SHEET 7 OF 8



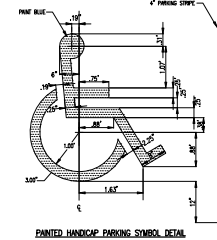
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NOT TO SCALE



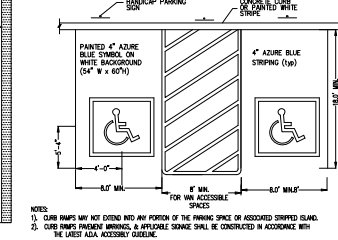
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NOT TO SCALE



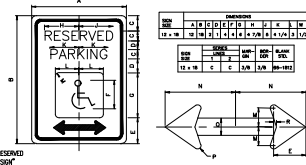
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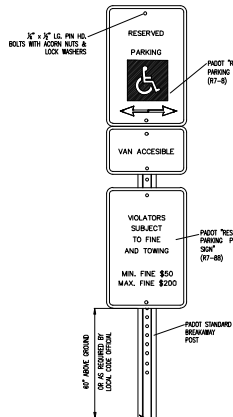
PAINTED HANDICAP PARKING SYMBOL DETAIL



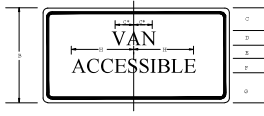
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NOT TO SCALE



RESERVED PARKING SIGN (R7-8)
NOT TO SCALE



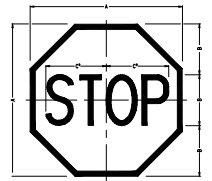
RESERVED PARKING SPACE & PENALTIES SIGNS
NOT TO SCALE



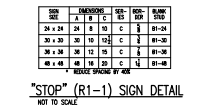
VAN ACCESSIBLE SIGN (R7-8A)
NOT TO SCALE



VAN ACCESSIBLE SIGN (R7-8A)
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE



STOP (R1-1) SIGN DETAIL
NOT TO SCALE

HSR COMPANY INC.
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Lehigh Valley Region
CO: 610-263-3333 ST: 700

Project Region
510-633-7170

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	08/23/23	KSJ
2	REVISED FOR CLIENT ADMINISTRATION	08/23/23	KSJ
3	REVISED FOR CLIENT ADMINISTRATION	08/23/23	KSJ
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811
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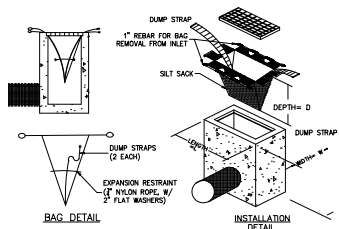
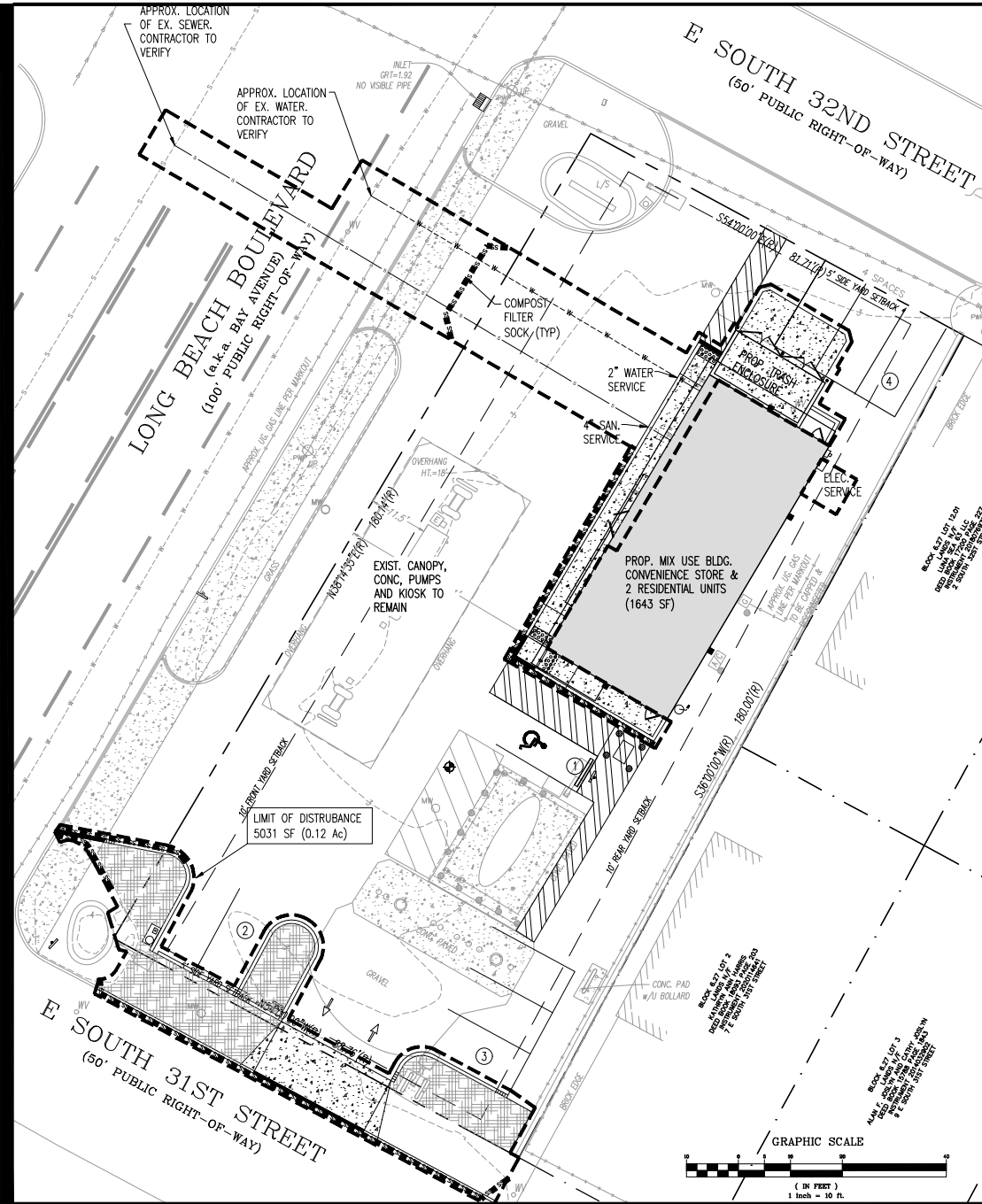
KEVIN H. FRUCK
PROFESSIONAL ENGINEER

PROJECT LOCATION
LOT 6.27 BLOCK 10
1360 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP
OCEAN COUNTY
NEW JERSEY 08008

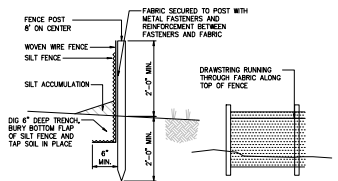
TITLE
DETAILS

FIG. NO. 22-070 DATE: 06-15-2023
CAD. NO. 22-070 EBN BY: KJF
SCALE: AS NOTED CHK BY: KJF

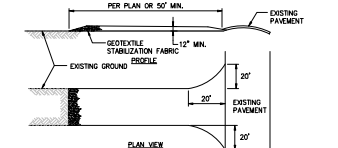
SHEET 8 OF 8



- NOTE:**
- CONTRACTOR IS TO CLEAN INLET FILTER EVERY 30 MIN.
 - IF BOTTOM OF ROADWAY IS BELOW TOP OF SOILS, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN UNDER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
 - INSPECTION SHALL BE PROVIDED WEEKLY. REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.
 - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY LOWER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.



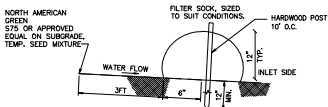
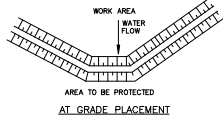
- SILT FENCE NOTES**
- POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM THICKNESS OF 1.625
 - SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE FABRIC FENCE WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
 - REPAIR OR REPLACE THE FABRIC FENCE WHEN DAMAGED.
 - FABRIC FENCE SHALL BE INSPECTED DAILY FOR SIGNS OF DETERIORATION AND SEDIMENT REMOVAL.



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
OVER 5%	STONE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIN 1/2 IN. (PRESUMED BY LOCAL JURISDICTION OF OTHER GOVERNING AUTHORITY)	

- STONE SIZE ASTM#-33 SIZE #2 (2 1/2" - 1 3/4") CLEAN CRUSHED ANGULAR STONE. CONCRETE WILL REQUIRE MORE FREQUENT INSPECTIONS AND MAINTENANCE.
 - THICKNESS-NOT LESS THAN 12" WIDTH NOT LESS THAN FULL WIDTH OF INGRESS / EGRESS POINT.
 - WHEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - EXISTING ROAD SIDE DRAINAGE SHALL BE MAINTAINED.
 - MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOoding OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT OR STONE SPILLED, SHIPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - REGULAR INSPECTION AND NECESSARY MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- 3 STABILIZED CONSTRUCTION ACCESS**
SCALE: N.T.S.

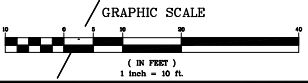
- MAINTENANCE NOTES:**
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED OF IN ACCORDANCE WITH THE LOCAL JURISDICTION.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. DAMAGED SOCKS SHALL BE REPAIRED IN THE MANNER REQUIRED BY THE MANUFACTURER OR REPLACED WITHIN 24 HOURS OF INSPECTION NOTIFICATION.
 - BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTO-DEGRADABLE FILTER SOCKS AFTER 1 YEAR. POLY-PROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
 - UPON STABILIZATION OF THE AREA CONTRIBUTORY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK SHALL BE REMOVED FOR REMOVAL. THE MESH CAN BE CUT AND COMPOST SPREAD AS AN ADDITIONAL MEDIUM TO ACT AS A SOIL SUPPLEMENT.



- NOTES:**
- ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS.
 - ALL FILTER SOCKS SHALL BE 12" DIAMETER UNLESS INDICATED OTHERWISE.
 - THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
 - WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED. THE CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE REPRESENTATIVE.
 - THE COMPOST FILTER BERM WILL BE DISPersed ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE REPRESENTATIVE.
 - INSTALL PERPENDICULAR TO FLOW.

COMPOST FILTER SOCK DETAIL
NOT TO SCALE

TYPICAL BERM FOR MINIMAL GRADES SHOWN. FOR STEEPER GRADES, IE. 2:1 SLOPES, INCREASE BERM SIZE AS DETERMINED ON SITE BY REPRESENTATIVE.



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WWW.CORNERSTONE.COM
Philadelphia Region
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610.283.2300
CO. 13-2463383.13700

REV	DATE	DESCRIPTION
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2	08/21/13	ISSUED FOR PERMITS
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4	08/21/13	ISSUED FOR PERMITS
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48	08/21/13	ISSUED FOR PERMITS
49	08/21/13	ISSUED FOR PERMITS
50	08/21/13	ISSUED FOR PERMITS

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KEVIN H. FRUCK
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REGISTERED PROFESSIONAL ENGINEER
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NEW JERSEY STATE BOARD OF EXAMINERS
FOR PROFESSIONAL ENGINEERS

PROJECT LOCATION
LOT 6.27 BLOCK 10
13601 LONG BEACH BOULEVARD
LONG BEACH TOWNSHIP
OCEAN COUNTY
NEW JERSEY 08008

TITLE
SOIL EROSION & SEDIMENT CONTROL
SITE PLAN

DATE	BY	DATE	BY
08-23-2013	KHF	08-23-2013	KHF
08-23-2013	KHF	08-23-2013	KHF
08-23-2013	KHF	08-23-2013	KHF

SCALE: AS NOTED CHK BY: KHF

SHEET 1 OF 2

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING...
3. PERMANENT VEGETATION SHALL BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING...
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL...
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS...
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING...
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY...
8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE...
9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE...
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED...
11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS...
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL...
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED...
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP...
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE...
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT...
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT...
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIMC, ETC. ALONG WITH MINIMAL AMOUNTS...

TOPSOIL NOTES:

- 1. ALL AREAS TO BE SEEDDED OR PLANTED SHALL RECEIVE TOPSOIL (5" MINIMUM DEPTH).
2. TOPSOIL SHALL CONSIST OF FERTILE, FRABLE, NATURAL LOAM FREE OF SUBSOIL, CLAY LUMPS, BRUSH, STONES OR OTHER DELETERIOUS MATERIALS LARGER THAN 2" IN GREATEST DIMENSION CONFORMING TO THE REQUIREMENTS OF NADOT SECTION 909.10...
3. PROPOSED TOPSOIL SHALL BE TESTED BY INDEPENDENT TESTING FACILITY WITH TEST RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL...
4. NATURAL TOPSOIL MAY BE AMENDED WITH APPROVED MATERIALS, BY APPROVED METHODS, TO MEET THE ABOVE SPECIFICATIONS...
5. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITH DAMAGING SOIL STRUCTURE...
6. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5" (MINIMUM 4") FIRMED IN PLACE IS REQUIRED...
7. PURSUANT TO THE REQUIREMENT IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED...

MULCH NOTES:

- 1. USE MULCHING IN CONJUNCTION WITH ALL SEEDING. DURING THE NON-GROWING SEASON MONTHS (NOVEMBER - MARCH), USE MULCH ALONE FOR TEMPORARY STABILIZATION...
2. FOR TEMPORARY STABILIZATION, APPLY MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE IS COVERED...
3. SUITABLE MATERIAL FOR SEEDD AREAS IS CLEAN STRAW CONSISTING OF STALKS OR OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEED SEEDS...
4. PEGS AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITH 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FT IN ALL DIRECTIONS...
5. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR ON A WEEKLY BASIS...

TEMPORARY VEGETATIVE COVER NOTES:

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION...
B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION...
C. HIGH ACID PRODUCING SOILS...
2. SEEDING
A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE...
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER...
3. SEEDING
A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE...
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER...
4. TEMPORARY SEEDING TO BE USED ON ALL AREAS WHERE PERMANENT SEEDING WILL NOT BE PERFORMED OR STRAW MULCHING OR EQUIVALENT WILL NOT BE APPLIED WITHIN 20 DAYS AFTER THE AREA IS DISTURBED...

PERMANENT VEGETATIVE COVER NOTES

- 1. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION...
B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION...
C. HIGH ACID PRODUCING SOILS...
2. SEEDING
A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE...
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER...
3. SEEDING
A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE...
B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER...
4. TEMPORARY SEEDING TO BE USED ON ALL AREAS WHERE PERMANENT SEEDING WILL NOT BE PERFORMED OR STRAW MULCHING OR EQUIVALENT WILL NOT BE APPLIED WITHIN 20 DAYS AFTER THE AREA IS DISTURBED...

SEQUENCE OF CONSTRUCTION:

Table with 3 columns: ACTIVITY, APPROX. DURATION (WORKING DAYS). Includes items like NOTIFY SOIL CONSERVATION DISTRICT, INSTALL INLET FILTERS, CONSTRUCT SITE IMPROVEMENTS, STABILIZE AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC, RESTORE ALL ACCESS AREAS, BEGIN PERMANENT STABILIZATION METHODS, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES, SCHEDULE FINAL INSPECTION.

DUST CONTROL NOTES:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - UNROTTED, SMALL-GRAIN STRAW IS SPREAD 90 TO 115 LBS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID BINDERS, NETLINGS FASTENED DOWN OR PEGS AND TWINE.

VEGETATIVE COVER - REFER TO SEEDING NOTES FOR TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION.

SOO SHALL BE OF UNIFORM THICKNESS, TYPICALLY 1/2 INCH, PLUS OR MINUS 1/4 INCH AT TIME OF CUTTING (EXCLUDES TOP GROWTH) AND BE FREE OF BROADLEAF WEEDS AND UNDESIRABLE COARSE AND FINE WEED GRASSES...
SLAB-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1: DUST CONTROL MATERIALS

Table with 5 columns: MATERIAL, WATER DILUTION, TYPE OF NOZZLE, APPLY (GALLONS/ACRE). Lists materials like ANIONIC ASPHALT EMULSION, LATEX EMULSION, RESIN IN WATER, POLYACRYLAMIDE (PAM), and AGGULATED SOY BEAN SOAP STICK.

TILLAGE - TO SPRING SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS...
SEEDLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARBIES - SOLID BOARD FENCES, SNOW FENCES, BURPL FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

NOTE: USING CALCIUM CHLORIDE, SYNTHETIC AND ASPHALTIC ADHESION FOR DUST CONTROL IS PROHIBITED.

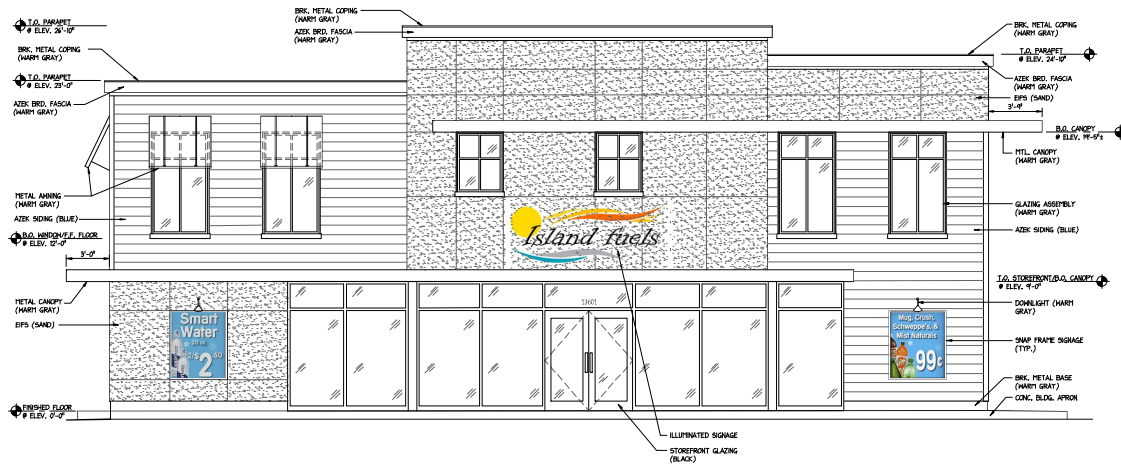
HSR COMPANY INC. 15 CANTER DRIVE BURLINGTON, NJ 08016. Cornerstone Consulting Engineers & Design Services, Inc. 215 West Main Street, Philadelphia, PA 19146. Phone: 215-525-5250, Fax: 215-525-6240.

Table with 2 columns: DATE, CHECKED BY. Includes a section for REVISIONS with columns for NO., DATE, DESCRIPTION, and APPROVED BY.

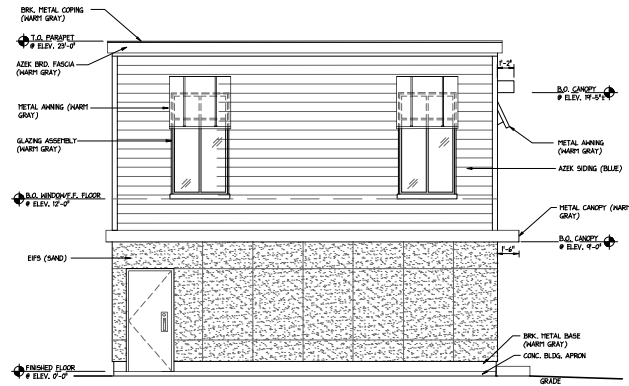
811 logo and text: BEFORE 800-888-8888 NEW JERSEY CALL 1-800-271-8100 KEVIN H. FRUCK PROFESSIONAL ENGINEER

PROJECT LOCATION: LOT 6.27 BLOCK 10, 1360 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, OCEAN COUNTY, NEW JERSEY 08008. TITLE: SOIL EROSION & SEDIMENT CONTROL DETAILS.

Table with 4 columns: FIELD NO., DATE, DATE, DATE. Includes scale information: SCALE: AS NOTED, CHECK BY: KJF.



1 WESTERN ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTHERN ELEVATION
SCALE: 1/4" = 1'-0"



3 SIGNAGE DETAILS
SCALE: NONE

CLIENT DATA

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15 CENTER DRIVE
BURLINGTON, NJ 08016

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Philadelphia, PA
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Columbus, OH
Lawrenceville, GA
Dallas, TX
CSDE # 3452873700

NO.	DATE	REVISIONS

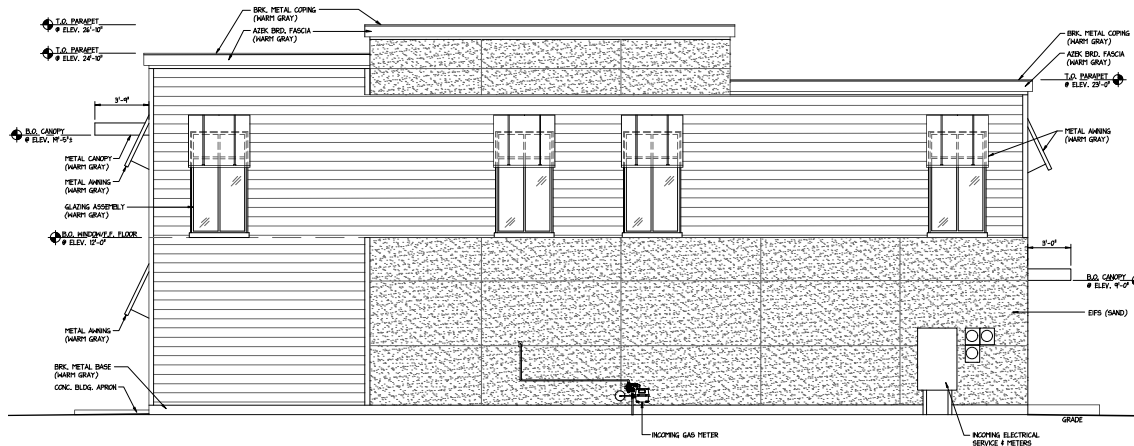
Christopher R. Stress RA
PROJECT LOCATION

PROPOSED
CONVENIENCE STORE
13601 LONG BEACH BLVD.
LONG BEACH, NJ 08008

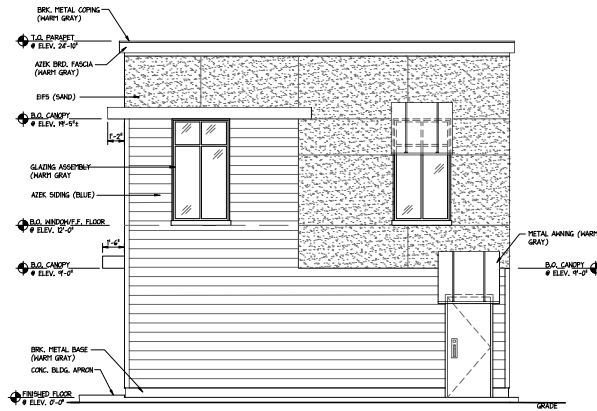
TITLE
BUILDING
ELEVATIONS

REV#	DATE	BY	CHKD	DATE

A-2.0
FIRST ISSUE



1 EASTERN ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTHERN ELEVATION
SCALE: 1/8"=1'-0"

CLIENT DATA

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REVISIONS

NO.	BY	DESCRIPTION	DATE

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TITLE
BUILDING
ELEVATIONS

PROJ. #	DATE	DATE	DATE
23-1078	10/07/2023		
CAD ID:	PJ-PROJ078	DESIGN	REF
SCALE	AS NOTED	CHK. BY	MMM

A-2.1
FIRST ISSUE



CLIENT DATA

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 Lowell, MA
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 Fort Worth, TX

REVISIONS			
NO.	BY	DESCRIPTION	DATE

Christopher R. Stress RA
 PROJECT LOCATION

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 CONVENIENCE STORE
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 LONG BEACH, NJ 08008

TITLE
 CONCEPTUAL
 EXTERIOR PERSPECTIVE

PROJ. #	20-1076	DATE	08/07/2023
CAD. ID.	P-1904733	DES. BY	RF
SCALE	AS NOTED	CHK. BY	MMM
RND-1.0			
FIRST ISSUE			