

AREA MAP
SCALE: 1"=200'

- NOTES
1. THE APPLICANT PLANS TO CONSTRUCT A 3-STORY MIXED USE BUILDING WITH OFFICE/RETAIL ON 1ST FLOOR AND 2 APARTMENTS ABOVE. THE APARTMENTS ARE 2-STORIES EACH. THIS SITE PLAN SHALL BE FOR BOTH LOTS, LOT 2.01 & LOT 2.02. THE DEVELOPMENT SHALL BE ALMOST IDENTICAL TO ONE ANOTHER.
 2. SITE PLAN BASED ON SURVEY PREPARED BY EAST COAST ENGINEERING, INC. SHOWING CONDITIONS OF 06/07/2023 AND MINOR SUBDIVISION TO BE FILED IN THE COUNTY CLERK'S OFFICE.
 3. NEW ADDRESSES FOR THE APARTMENTS AND COMMERCIAL SPACES SHALL BE APPROVED BY THE LONG BEACH TOWNSHIP TAX ASSESSOR.
 4. THERE ARE NO WETLANDS ON OR WITHIN 200 FEET OF THIS PROPERTY.
 5. PROPERTY LOCATED IN FLOOD HAZARD ZONE "AE" EL. 9 AS PER FIRM MAP PANEL 518 OF 660, COMMUNITY PANEL NUMBER 34029C0518G, MAP REVISED DECEMBER 16, 2021.
 6. THE PROPERTY IN QUESTION IS IN THE C-GENERAL COMMERCIAL ZONING DISTRICT.
 7. ERROR OF CLOSURE IS LESS THAN 1:10,000.
 8. EXISTING MUNICIPAL WATER AND MUNICIPAL SEWER SERVICES SHALL BE UTILIZED WHERE APPLICABLE. NEW SERVICES SHALL BE INSTALLED IF NECESSARY.
 9. PROPOSED PROPERTY SHALL HAVE OFF-STREET PARKING SPACES IN CONFORMANCE WITH TOWNSHIP ORDINANCES.
 10. THE ONLY SITE LIGHTING PROPOSED WILL BE TYPICAL BUILDING MOUNTED RESIDENTIAL LIGHTING.
 11. THE DEVELOPER IS REQUIRED TO OBTAIN A ROAD OPENING PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS OR SOIL EROSION CONTROL MEASURES WITHIN THE COUNTY RIGHT OF WAY.
 12. THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEER FOR THE COUNTY ROAD IMPROVEMENTS PRIOR TO THE ISSUANCE OF A TCO/CO FROM THE MUNICIPALITY AND RELEASE OF ANY BOND OR OTHER FINANCIAL SURETY POSTED WITH THE MUNICIPALITY FOR THE COMPLETION OF SAID IMPROVEMENTS.

PARKING CALCULATION:

EACH RESIDENTIAL UNIT SHALL PROVIDE (3) PARKING SPACES EACH, 3 PARKING SPACES PROVIDED FOR EACH UNIT.

RETAIL USE SHALL PROVIDE 2 SPACES FOR EACH 1,000 S.F. OF FLOOR AREA, 1,058 S.F. REQUIRES (2) PARKING SPACES, (4) PARKING SPACES PROVIDED.

BUSINESS/PROFESSIONAL OFFICES SHALL PROVIDE 1 SPACE FOR EACH 500 S.F. OF FLOOR AREA, 1,058 S.F. REQUIRES (2) PARKING SPACES, (4) PARKING SPACES PROVIDED.

ZONING TABLE -

C- GENERAL COMMERCIAL ZONE:	REQUIRED	EXISTING LOT 2 (PRIOR TO SUB)	LOT 2.01	LOT 2.02
MINIMUM LOT AREA:	6,000 S.F.	15,000 S.F.	7,500 S.F.	7,500 S.F.
MINIMUM LOT WIDTH:	N/A	14.7 FT.	75.00 FT.	75.00 FT.
MINIMUM FRONT SETBACK:	N/A	14.7 FT.	48.67 FT.	48.67 FT.
MINIMUM REAR SETBACK:	15 FT.	48.6 FT.	12.00 FT.	12.00 FT.
MINIMUM SIDE SETBACK(NORTH):	3 FT.	50.8 FT.	4.34 FT.	4.34 FT.
MINIMUM SIDE SETBACK(SOUTH):	3 FT.	50.8 FT.	4.34 FT.	4.34 FT.
MAXIMUM BUILDING LOT COVERAGE:	33.33%	33.33%	33.29%	33.29%
MAXIMUM IMPERVIOUS LOT COVERAGE:	75%	95.5 (2) (%)	75.0%	75.0%
SETBACK TO IMPERVIOUS SURFACE:	1.0 FT.(1)	1.1 FT.(2)	9.0 FT.	9.0 FT.
MAXIMUM BUILDING HEIGHT:	34 FT.(2)	28.1 FT.	33.63 FT.	33.63 FT.

N/C = NO CHANGE
N/A = NOT APPLICABLE
(1) = EXISTING NON-CONFORMING CONDITION
(2) = PROPOSED VARIANCE CONDITION
(1) = AS PER 205-33.8(4)-1.5 FT. SETBACK NOT REQUIRED FOR DRIVEWAYS WITH A 6-INCH HIGH CURBLINE.
(2) = 34 FT. MAX. HEIGHT LIMIT MEASURED FROM CROWN OF ROAD (LOT 2.01 = EL. 3.29), (LOT 2.02 = EL. 3.09).

LEGEND

- = MONUMENT FOUND
- = MONUMENT SET
- = CAPPED PIN FOUND
- = CAPPED PIN SET
- = IRON PIPE FOUND
- × = STONE FOUND
- × = NAIL FOUND
- × = NAIL SET
- = OVERHEAD WIRE
- = UTILITY POLE
- = FIRE HYDRANT

APPLICANT:
MEYER SHORE LLC
150 HUNTERTON ROAD
MEDFORD, NJ 08055

OWNERS:
LUIGI IAMUNDO & PROVIDENZA IAMUNDO
1423 BROOKED FINE DRIVE
MYRTLE BEACH, SC 29575

SITE ADDRESS:
3200 LONG BEACH BOULEVARD (NEW LOT 2.01)
3204 LONG BEACH BOULEVARD (NEW LOT 2.02)

SITE PLAN
PREPARED FOR
MEYER SHORE LLC

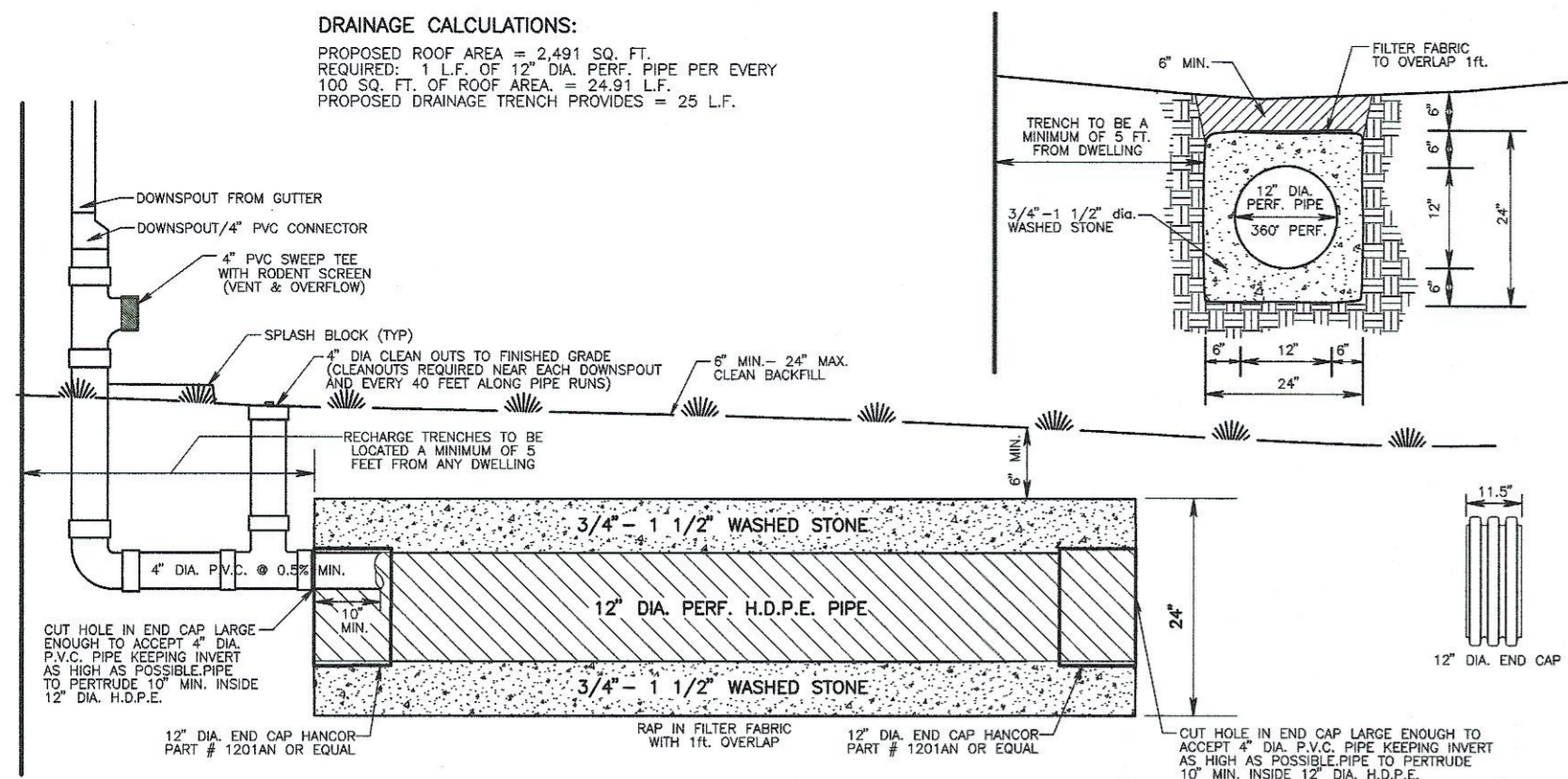
BLOCK 15.147
LOTS 2.01 & 15.2.02
LONG BEACH TOWNSHIP
OCEAN COUNTY, NEW JERSEY

East Coast Engineering, Inc.
JAY F. PIERSON, PLS., PP
ROBERT J. HARRINGTON, PE
JASON M. MARCIANO, PE
JOSEPH L. LAZAR, PLB

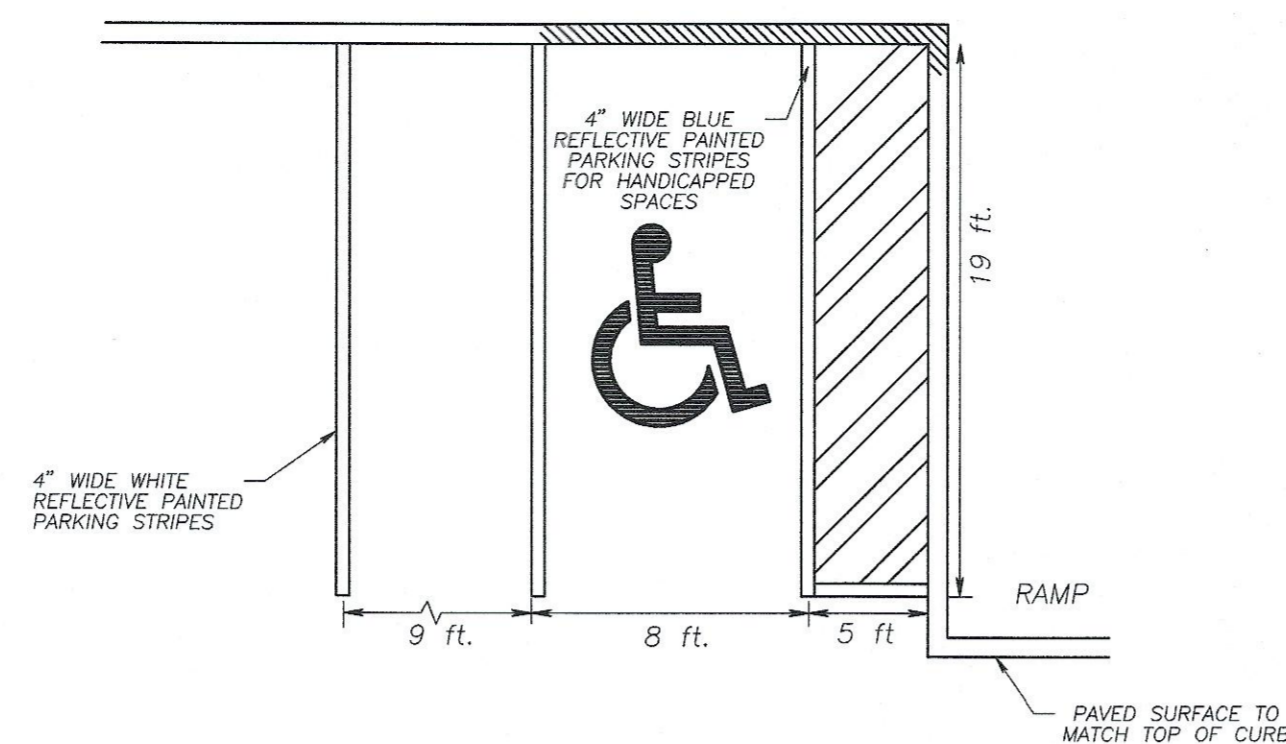
ENGINEERING LAND SURVEYING PLANNING GPS
JOB NO.: 2023-0224 TAX MAP SHEET NO.: 21
DRAWN BY: DLP SCALE: 1"=10'
CHECKED BY: JFP DATE PREPARED: 07/17/2023
(732) 244-3030 VOICE 508 MAIN STREET
(908) 683-8900 VOICE TOMS RIVER, NJ 08854
(732) 244-3044 FAX www.econline.net
CERTIFICATE OF REGISTRATION NO. 3482970000

JAY F. PIERSON, L.S., P.E. **JASON M. MARCIANO, P.E., P.P.**
NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492
NEW JERSEY PROFESSIONAL PLANNER 08549
NEW JERSEY PROFESSIONAL ENGINEER 44814
NEW JERSEY PROFESSIONAL PLANNER 08540

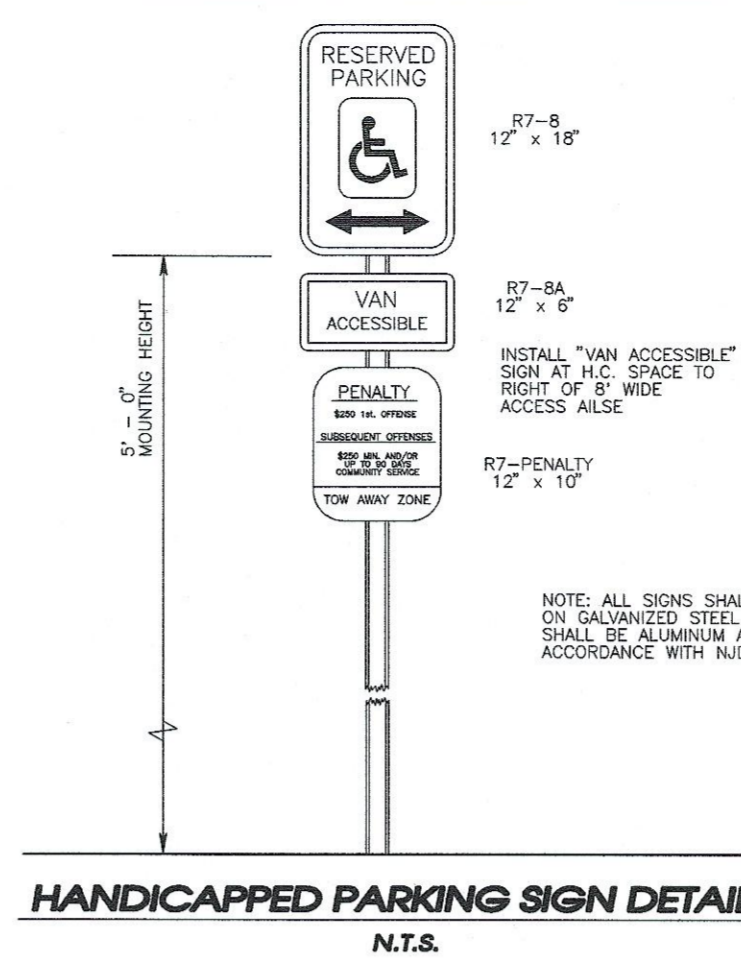
DRAINAGE CALCULATIONS:
 PROPOSED ROOF AREA = 2,481 SQ. FT.
 REQUIRED: 1 I.F. OF 12" DIA. PERF. PIPE PER EVERY
 100 SQ. FT. OF ROOF AREA = 24 I.F.
 PROPOSED DRAINAGE TRENCH PROVIDES = 25 I.F.



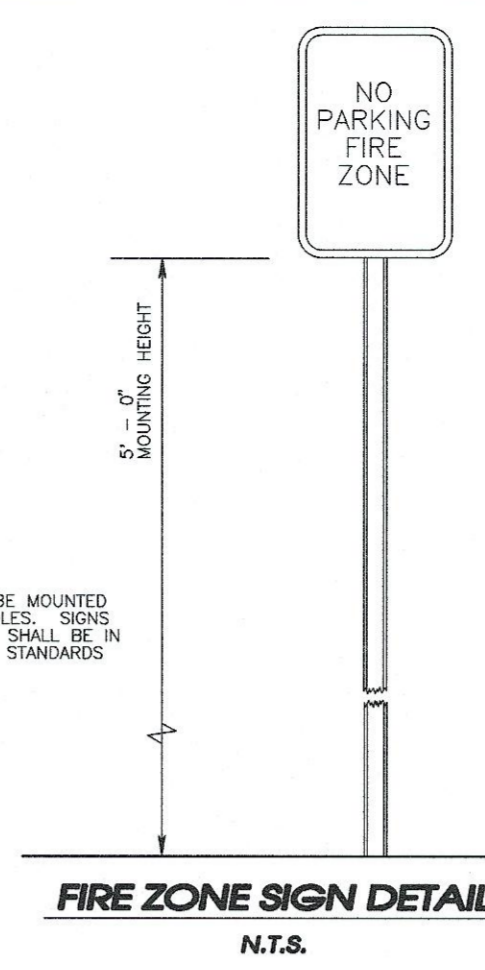
RECHARGE TRENCH DETAIL
N.T.S.



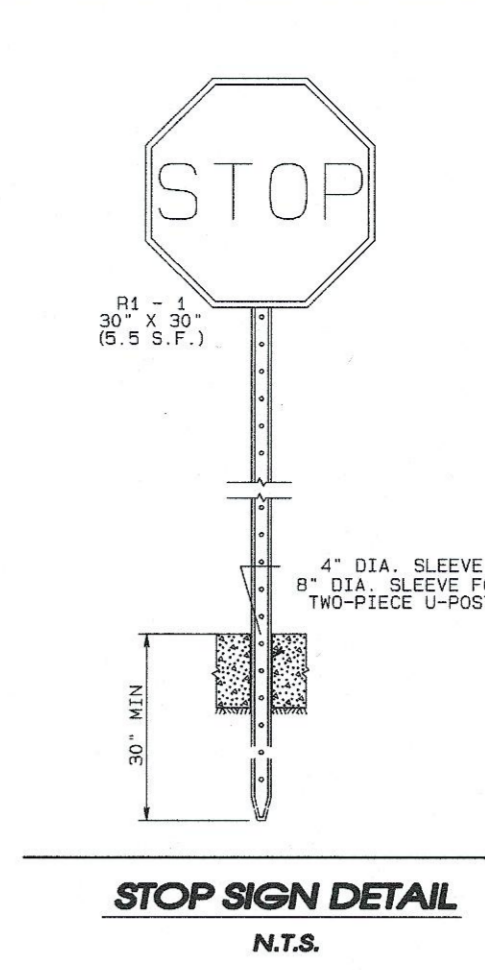
PARKING LOT STRIPING DETAIL
N.T.S.



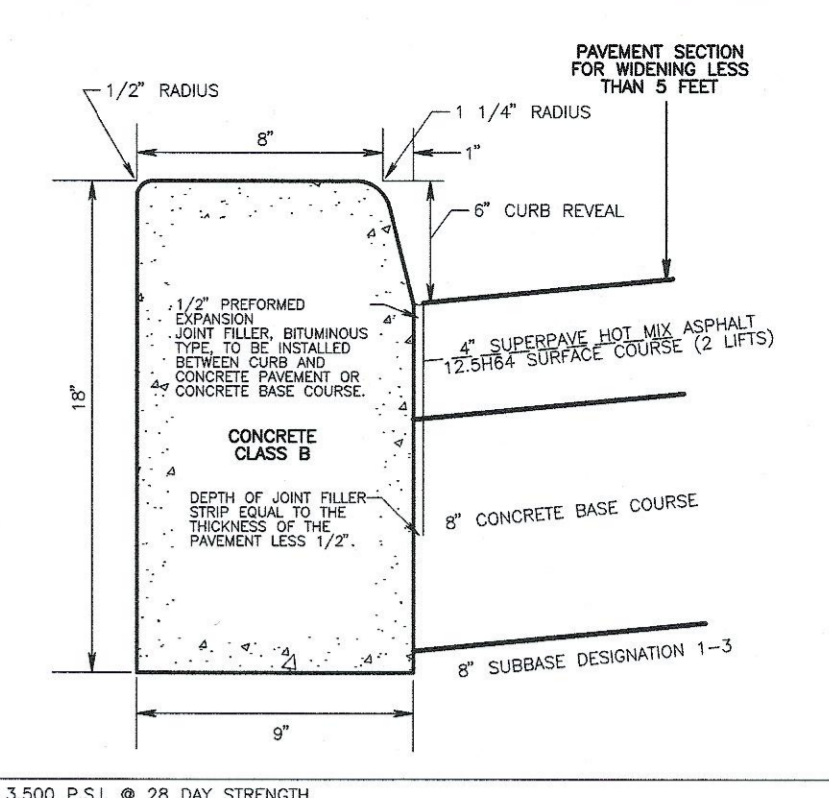
HANDICAPPED PARKING SIGN DETAIL
N.T.S.



FIRE ZONE SIGN DETAIL
N.T.S.

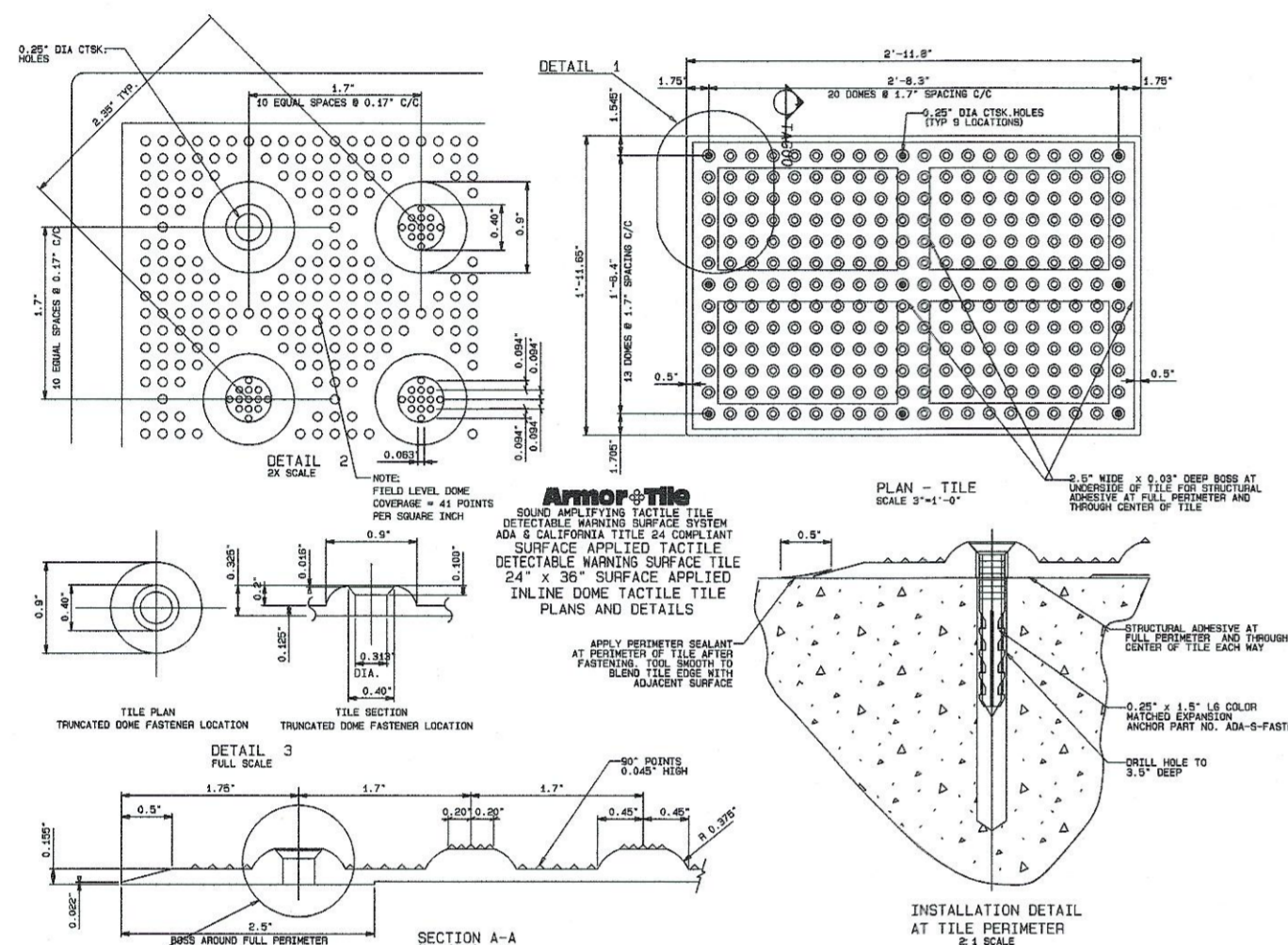


STOP SIGN DETAIL
N.T.S.

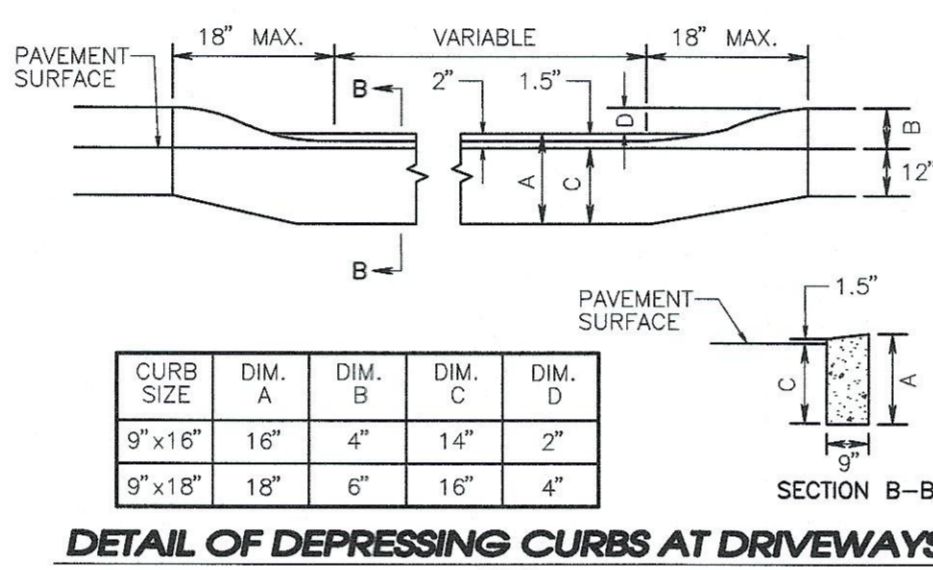


CURB & PAVEMENT DETAIL ALONG LONG BEACH BLVD.
N.T.S.

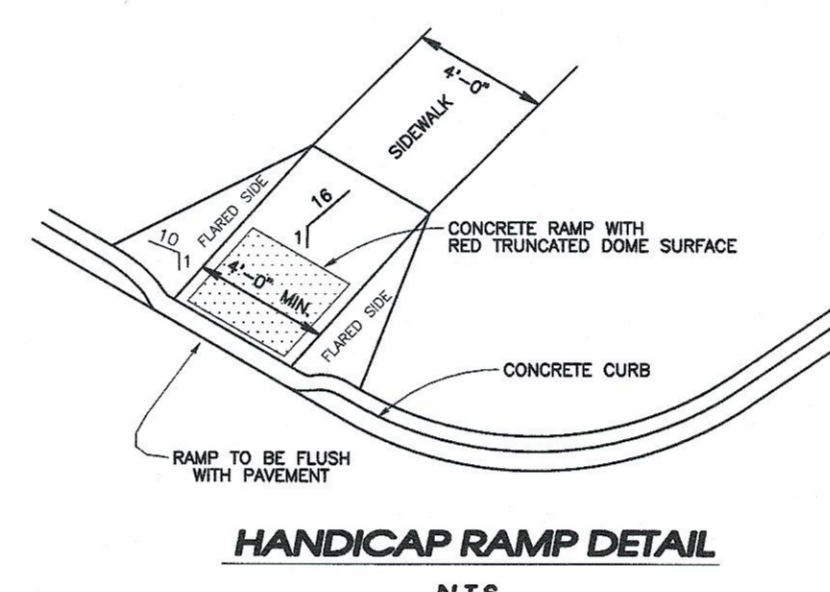
- GENERAL NOTES:**
- 1) CONCRETE TO BE 3,500 P.S.I. @ 28 DAY STRENGTH.
 - 2) PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS, 1/2" THICK AT 20'-0" (MAX) INTERVALS.
 - 3) PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.
 - 4) WIDTH OF ROADWAY WIDENING VARIES, WITH A MINIMUM WIDTH OF 3 FEET.
 - 5) EXCAVATE AND REPLACE ANY UNSTABLE SUBGRADE WITH SUBBASE, DESIGNATION 1-3 OR BORROW EXCAVATION, SELECTED MATERIAL (S.M. 1-3).
 - 6) DENSE GRADED AGGREGATE BASE COURSE AND SUBBASE, DESIGNATION 1-3 SHOULD EXTEND A MINIMUM OF 75MM (3") BEYOND THE OUTER EDGE OF THE PROPOSED CURB.
 - 7) SAWCUTTING OF EXISTING PAVEMENT PRIOR TO EXCAVATION AND SEALING OF JOINTS MUST BE DONE BETWEEN THE NEW AND EXISTING PAVEMENT.



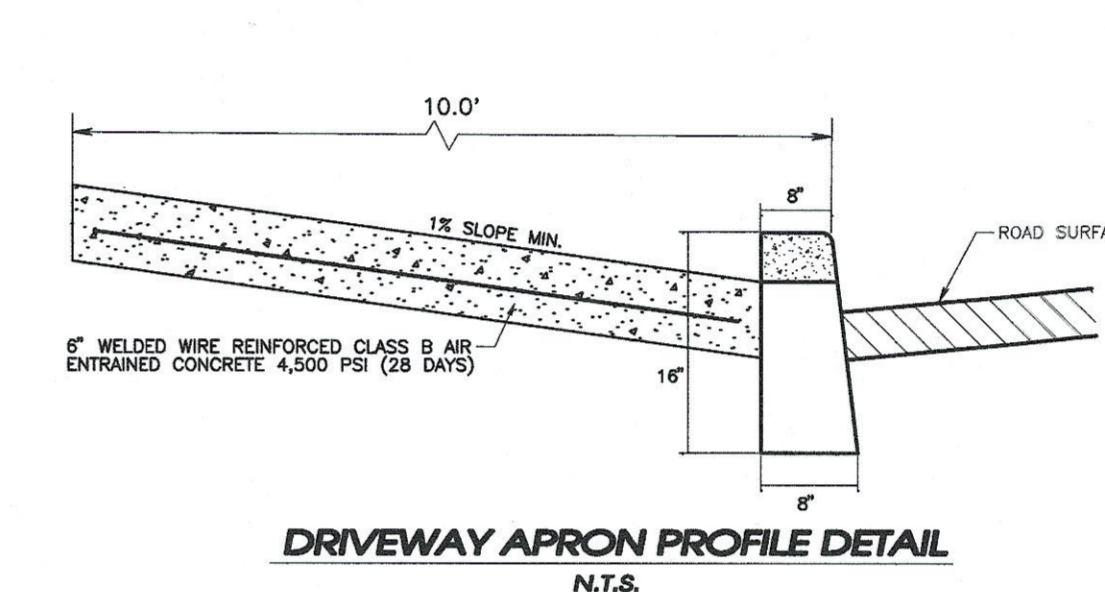
DETECTABLE WARNING SURFACE
N.T.S.



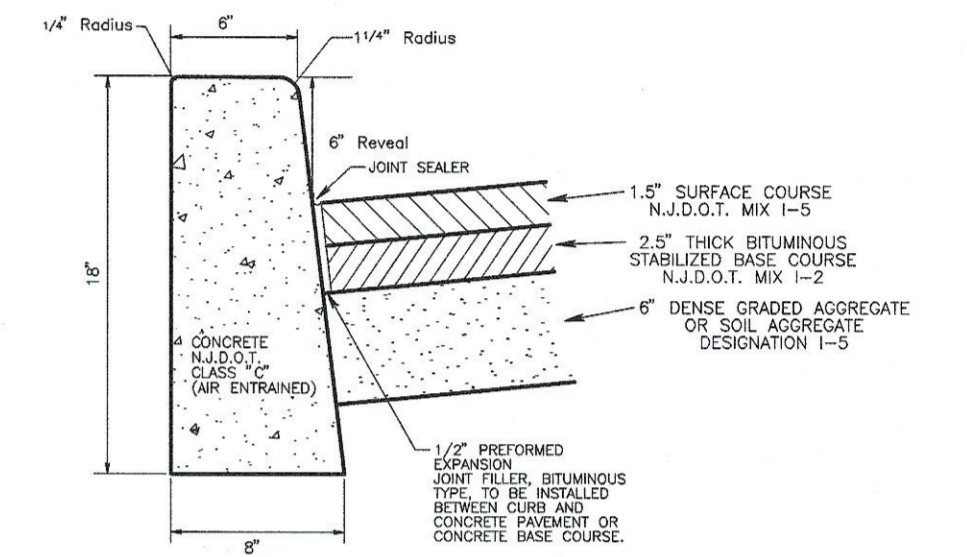
DETAIL OF DEPRESSING CURBS AT DRIVEWAYS
N.T.S.



HANDICAP RAMP DETAIL
N.T.S.

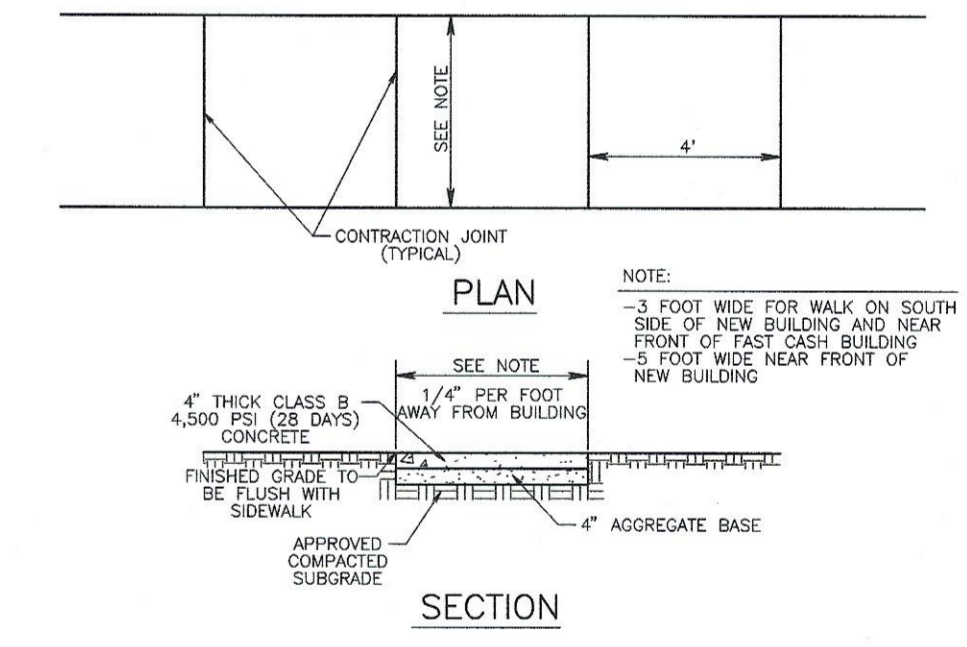


DRIVEWAY APRON PROFILE DETAIL
N.T.S.



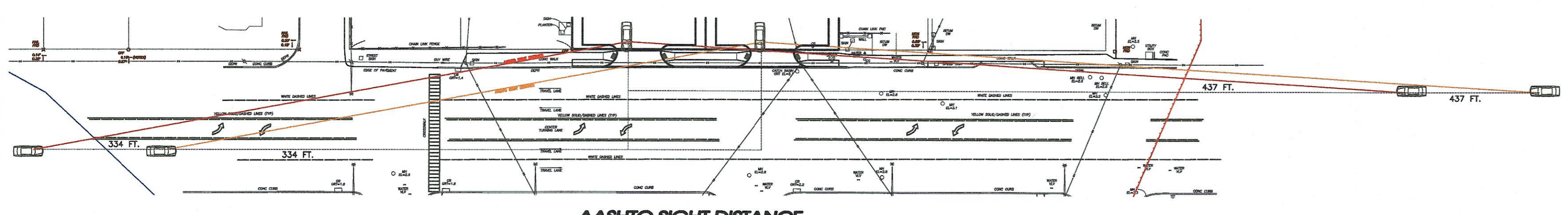
CURB & PAVEMENT DETAIL FOR DRIVEWAY & PARKING AREAS
N.T.S.

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 - 3) PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.



CONCRETE SIDEWALK DETAIL
N.T.S.

- NOTE:**
- 3 FOOT WIDE FOR WALK ON SOUTH SIDE OF NEW BUILDING AND NEAR FRONT OF FAST CASH BUILDING
 - 5 FOOT WIDE NEAR FRONT OF NEW BUILDING



AASHTO SIGHT DISTANCE
1" = 50'

2/2

DETAIL SHEET
 PREPARED FOR
MEYER SHORE LLC

BLOCK 15.147
LOTS 2.01 & LOTS 2.02
 LONG BEACH TOWNSHIP
 OCEAN COUNTY, NEW JERSEY

Fast Coast Engineering, Inc.
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 www.ecoind.net
 CERTIFICATE OF AUTHORIZATION NO. 2404733000

JOB NO.: 2023-0224 TAX MAP SHEET NO.: 21
 DRAWN BY: DLO SCALE: N.T.S.
 CHECKED BY: JFP DATE PREPARED: 07/17/2024

JAY F. PIERSON, L.S., P.P.
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 NEW JERSEY PROFESSIONAL ENGINEER 44814
 NEW JERSEY PROFESSIONAL PLANNER 02040

Project Desc.: Path: J:\2023\20230224\20230224_Site_Plan.rvt Plot Date/Time: Mon Jul 17, 2023 / 13:15:37