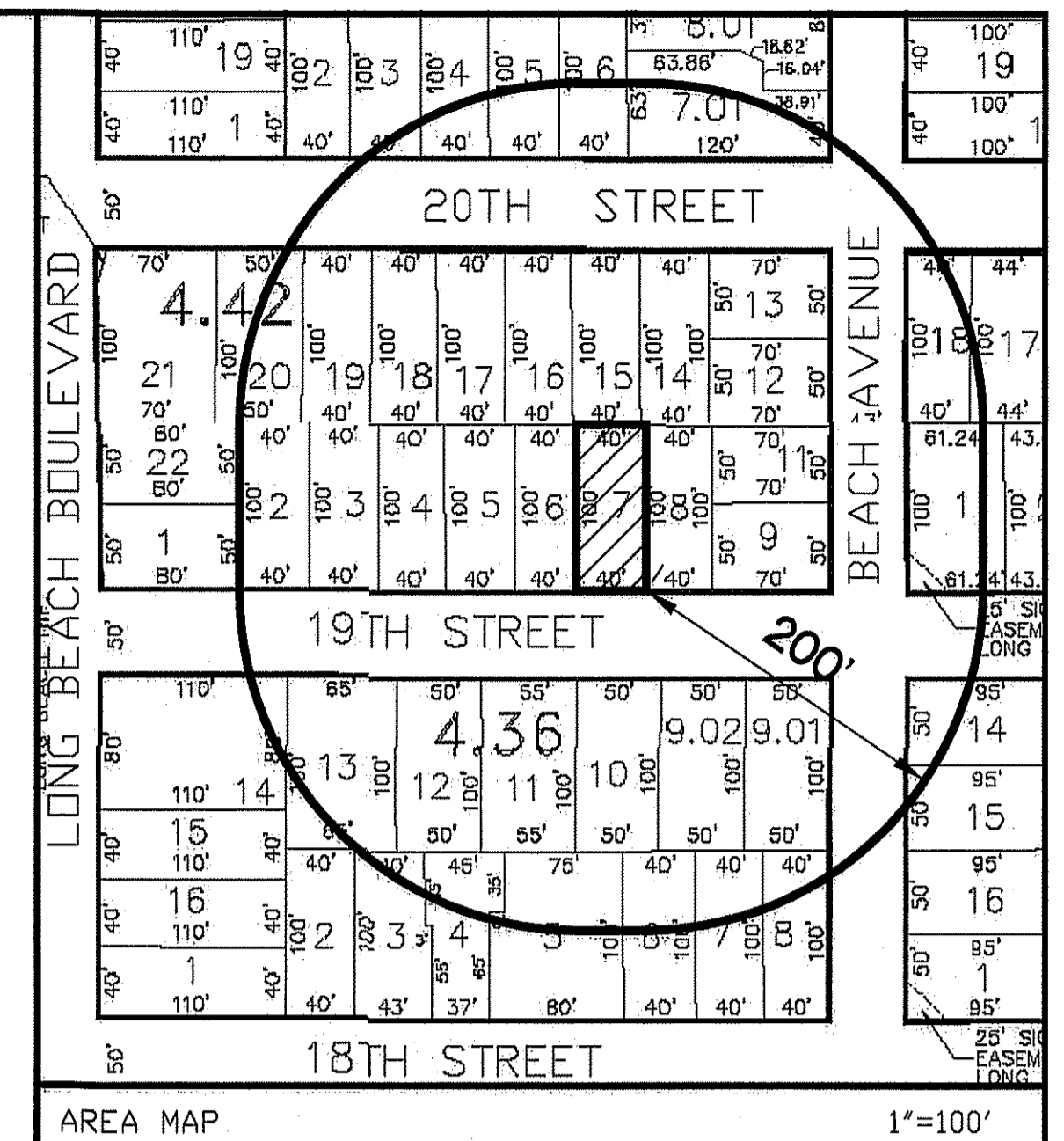


**LEGEND**  
 P.O.B. = POINT OF BEGINNING  
 C = CENTERLINE  
 E/P = EDGE OF PAVEMENT  
 6.02 = SPOT ELEVATION  
 6.02 = PROPOSED SPOT ELEVATION



- NOTES:**
- DEED REFERENCE: BOOK 15625 PAGE 1146
  - A.K.A. LOT 8 & THE EASTERLY 10' OF LOT 10, BLOCK 19, FILED MAP #A-288, FILED 7/23/1923 'REVISED PLAN OF NORTH BEACH HAVEN SHOWING PROPERTY OF SEASIDE REALTY AND IMPROVEMENT CO LONG BEACH OCEAN COUNTY N.J.'
  - FLOOD ZONE AE, BASE FLOOD ELEVATION 8 AS SHOWN ON FIRM #34029C0603F
  - BASED UPON THE OCEAN COUNTY, NJ PRELIMINARY FIRM #34029C0603G THE PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 8 THE PROPERTY IS NOT LOCATED WITHIN THE COASTAL A ZONE.
  - ELEVATIONS NAVD (1988)
  - TOPOGRAPHY AND SURVEY INFORMATION IS AS SHOWN ON A PLAN PREPARED BY HORN, TYSON & YODER, INC., SIGNED BY LEON J. TYOSKA, PLS 35888 TITLED 'BOUNDARY & TOPOGRAPHIC SURVEY LOT 7, BLOCK 4.42 TAX MAP SHEET # 8 LONG BEACH TOWNSHIP OCEAN COUNTY, NEW JERSEY', DATED 9/8/2022
  - THE LOWEST ELEVATION OF ANY ELECTRICAL, HEATING, VENTILATION, PLUMBING AND AIR-CONDITIONING EQUIPMENT, DUCTWORK AND OTHER SERVICE FACILITIES WILL BE AT OR ABOVE ELEVATION 9.0.

EXISTING CONDITIONS

PROPOSED DEVELOPMENT

| ZONING SCHEDULE R-50 RESIDENTIAL ZONE |               |             |                             |
|---------------------------------------|---------------|-------------|-----------------------------|
|                                       | CODE          | REQUIRED    | PROVIDED                    |
| LOT AREA                              | 205-55C(1)    | 5,000 S.F.  | 4,000 S.F.** <sup>(a)</sup> |
| LOT WIDTH                             | 205-55C(1)    | 50 FT.      | 40 FT.** <sup>(a)</sup>     |
| SETBACKS:                             |               |             |                             |
| FRONT                                 | 205-11E(1)    | 19.7 FT.    | 19.6 FT.**                  |
| REAR                                  | 205-55C(5)(c) | 20 FT.      | 44.3 FT.                    |
| SIDE                                  | 205-55C(4)    | 4 FT./9 FT. | 8.9 FT.**/3 FT.**           |
| COMBINED SIDE BETWEEN BUILDINGS       | 205-55C(4)    | 15 FT.      | 11.9 FT.**                  |
| ACCESSORY SETBACKS:                   |               |             |                             |
| SIDE                                  | 205-55C(6)    | 4 FT.       | 8.9 FT.                     |
| REAR                                  | 205-55C(6)    | 4 FT.       | 3.9 FT.**                   |
| LOT COVERAGE(%)                       | 205-55C(7)    | 33.3%       | 26.2%                       |
| IMPERVIOUS COVERAGE                   | 205-33B(3)(c) | 75%         | 32.2%                       |
| FRONT YARD IMPERVIOUS COVERAGE        | 205-33B(3)(c) | 60%         | 8.5%                        |
| PARKING                               | 205-51D(1)(c) | 3 SPACES    | 1 SPACE                     |
| HEIGHT                                | 205-10A       | 34 FT.      | 19.8 FT.                    |
|                                       |               |             | 34 FT.                      |

\*\*EXISTING NON-COMFORMITY  
 \*\*VARIANCE REQUESTED  
 (c) PURSUANT TO SECTION 205-17A OF THE CODE OF THE TOWNSHIP OF LONG BEACH: ALL LOTS CREATED BY SUBDIVISION PRIOR TO OCTOBER 6, 1979, AND HAVING A MINIMUM WIDTH OF 40 FEET AT THE STREET LINE OR ON THE OCEAN OR THE BAY AND A MINIMUM LOT AREA OF 5,000 SQUARE FEET, IN SINGLE OWNERSHIP WITH A DEED VESTING SUCH OWNERSHIP FULLY RECORDED IN THE OCEAN COUNTY CLERK'S OFFICE IN LONG BEACH, NEW JERSEY, ON OR BEFORE JUNE 1, 1979, AND WHICH LOT IS LOCATED BETWEEN TWO ADJACENT LOTS ON EACH OF WHICH ADJACENT LOTS A CONFORMING STRUCTURE HAS BEEN ERRECTED PURSUANT TO A VALID AND PROPERLY ISSUED BUILDING PERMIT ISSUED PRIOR TO JUNE 3, 1988, SHALL, FOR THE PURPOSES OF THIS CHAPTER, BE CONSIDERED CONFORMING LOTS.

OWNER/APPLICANT  
 ROBERT AND PATRICIA PAULUS  
 217 LEVIST ROAD  
 SPRINGFIELD, NJ 19064

**HORN, TYSON & YODER, INC.**  
 CONSULTING ENGINEERS, SURVEYORS-PLANNERS  
 CERTIFICATE 24GA27951700 - ISSUED SEPTEMBER 1, 2022  
 8510 LONG BEACH BOULEVARD, LONG BEACH TOWNSHIP, NEW JERSEY 08008-3424  
 PHONE (609) 492-5050 FAX (609) 492-4163

VARIANCE MAP  
 LOT 7, BLOCK 4.42  
 TAX MAP SHEET # 8  
 LONG BEACH TOWNSHIP  
 OCEAN COUNTY, NEW JERSEY

SCALE: 1"=10'  
 DRAWN BY: DJM  
 SHEET 1 OF 1

DATE: 7/12/2023  
 JOB NO.: 22-070